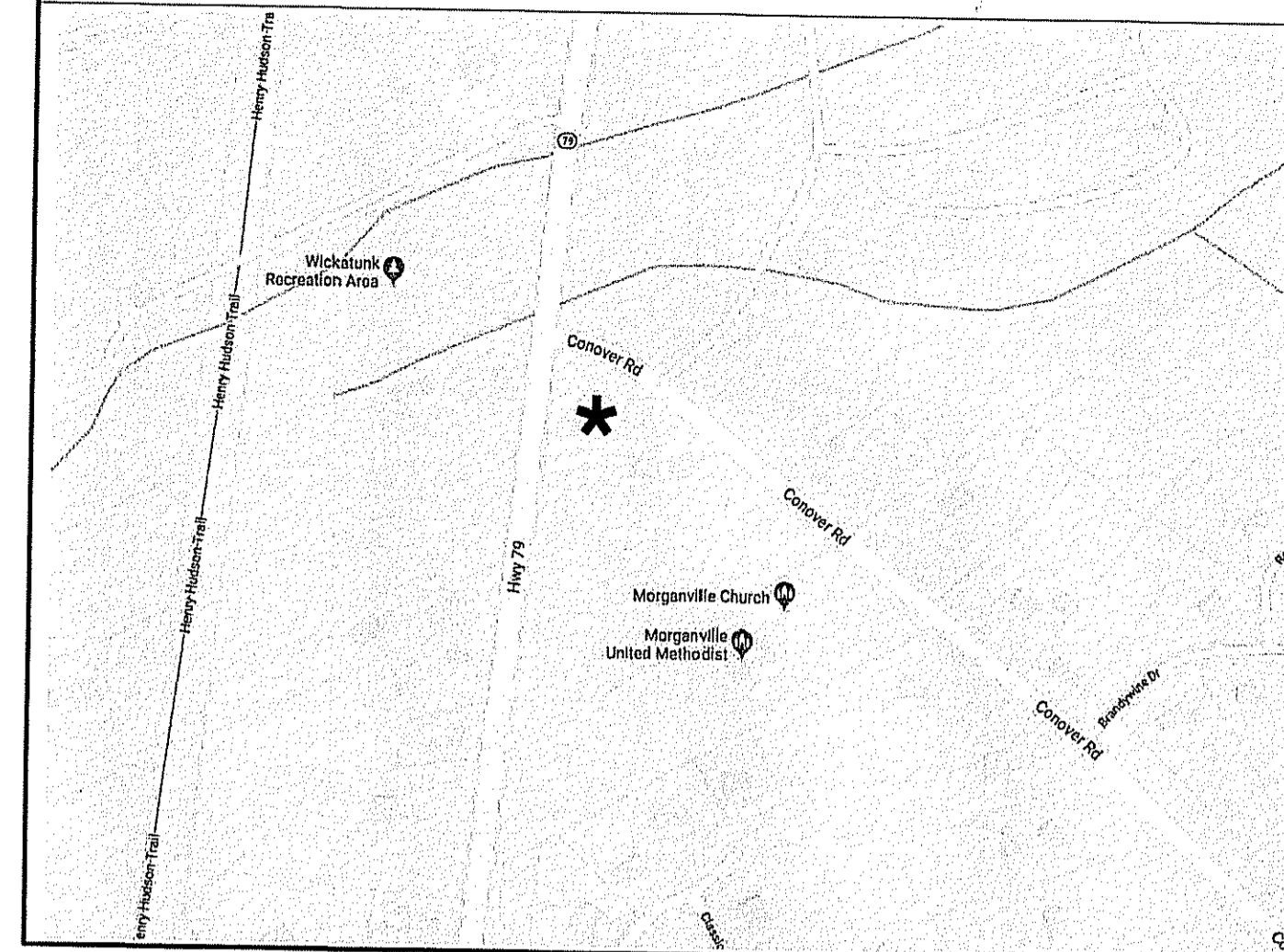


PETTYJOHN RESIDENCE

PROPOSED ADDITION
BLOCK 160.01 LOT 1

VICINITY MAP



④ VICINITY MAP Copy 1
12" = 1'-0"

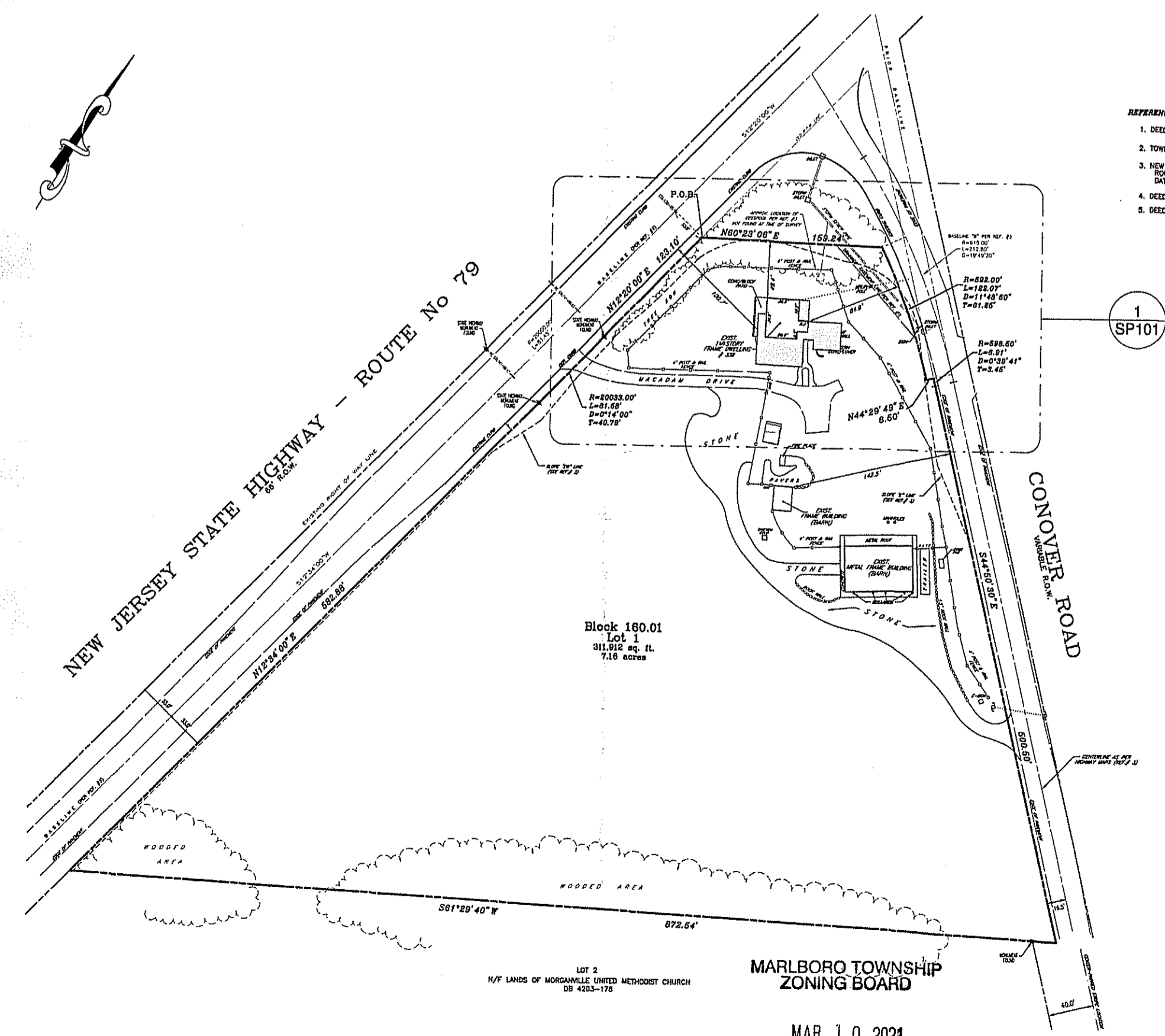
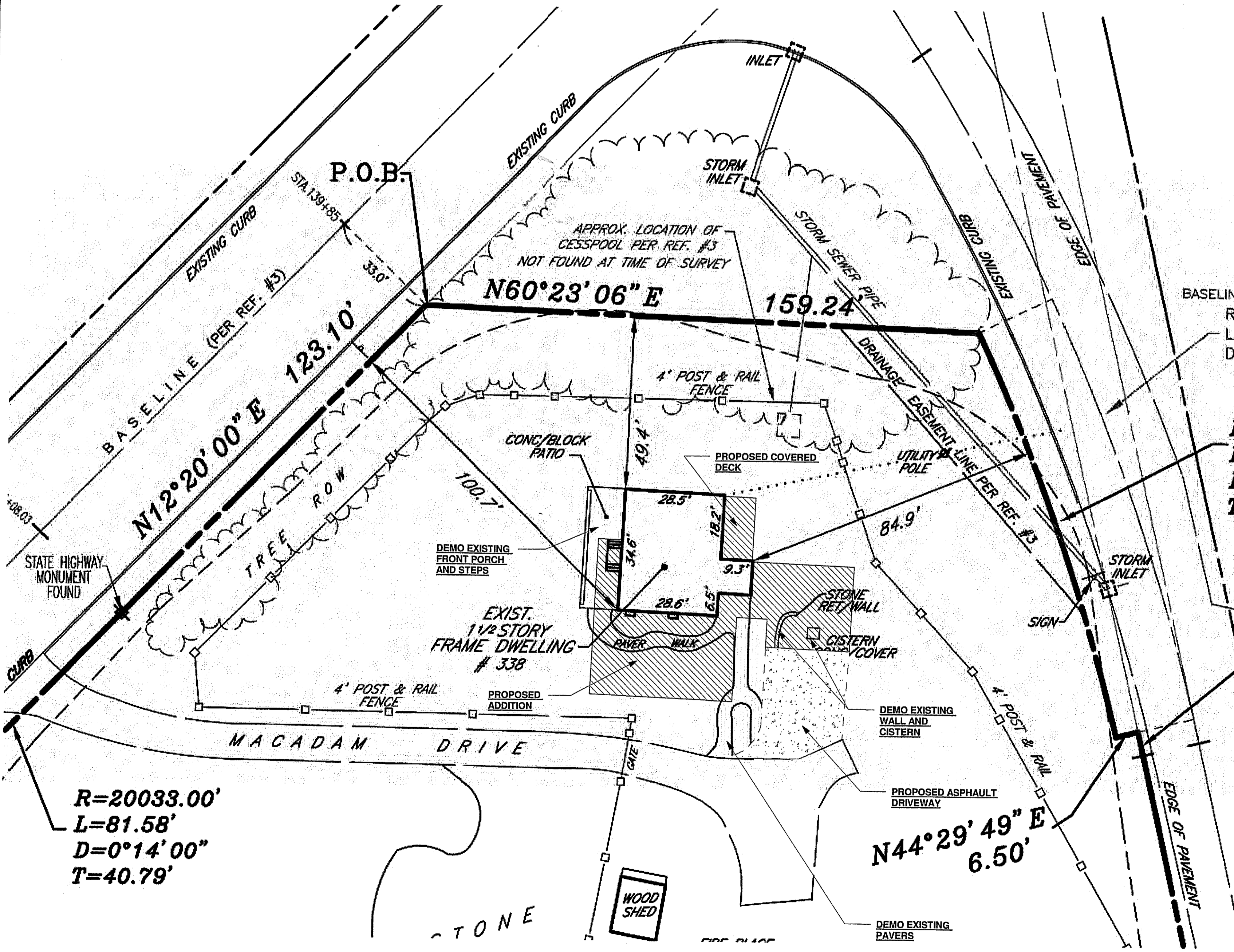
ZONING ANALYSIS

	MIN. REQUIRED	EXISTING	PROPOSED
CHAPTER 220, LAND USE AND DEVELOPMENT OF THE TOWNSHIP OF MARLBORO, NJ			
BLOCK: 160.01 LOT: 1 LOT AREA: 7.16 ACRE (311,912 S.F.)			
BUILDING ZONE: LC - LAND CONSERVATION DISTRICT			
BUILDING USE: SINGLE FAMILY DWELLING			
220-34D: THE SCHEDULE OF AREA, YARD, AND BUILDING			
LOT AREA:	5 ACRE	7.16 ACRE	N/A
LOT FRONTAGE:	400 FT	787 FT	N/A
LOT WIDTH:	400 FT	628 FT	N/A
LOT DEPTH:	500 FT	159.24 / 872.54 FT	N/A
FRONT YARD: (RT. 79)	75 FT	78.3 FT	NO CHANGE
FRONT YARD: (CONOVER)	75 FT	84.9 FT	58.6 FT*
SIDE YARD:	75 FT	49.4 FT*	NO CHANGE
SIDE YARD:	75 FT	511.75 FT	487.63 FT
BUILDING HEIGHT:	35 FT	21 FT	32.3 FT
GROSS FLOOR AREA:	1,900 SF	1,596 SF*	3,465 SF
GROUND FLOOR AREA:	1,200 SF	1,056 SF*	2,536 FT
LOT COVERAGE:	5% MAX	2.7 %	3.3%
BUILDING COVERAGE:	2% MAX	1.4%	2%
ACCESSORY BUILDING AREA:	1,089 SF	3,343.1 SF*	NO CHANGE
ACCESSORY FRONT SETBACK:	75 FT	47.75 FT*	NO CHANGE
ACCESSORY SIDE SETBACK:	40 FT	293.5 FT	NO CHANGE

*** INDICATES EXISTING NON-CONFORMITY
** INDICATES PROPOSED VARIANCE

mode
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DANIEL M. CONDATORE, RA
619 LAKE AVE/ 3RD FLOOR
ASBURY PARK, NJ 07712
NJ LICENSE #21A10798000
t: 732 800 1958
e: dcondatore@mode-arch.com

ENGINEER
ARCHITECT & ENGINEER SIGNATURE & SEAL BOX
[Signature]
DATE



③ OVERALL SITE PLAN
1" = 100'-0"

PETTYJOHN RESIDENCE
RENOVATION & ADDITION

338 FT. 79
MORGANVILLE, NJ 07751
BLOCK: 160.01, LOT: 1

OWNER	PROJECT LOCATION
No. REVISIONS / ISSUES	DATE
ISSUED FOR ZONING	02/24/21
CHECKED BY: DMC	DRAWN BY: DMC
DRAWING TITLE:	
SITE PLAN	
DRAWING No. SP101	

① ENLARGED SITE PLAN
1" = 20'-0"

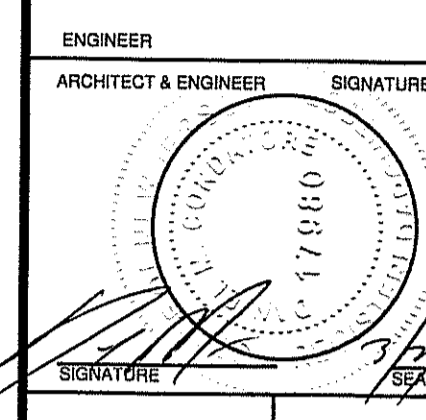
MAR 30 2021
ZB# 21-6234

WALL LEGEND

	EXISTING WALLS TO REMAIN
	EXISTING WALLS TO BE REMOVED
	NEW STUD WALLS 2x4 WOOD STUDS (2x6 EXTERIOR) @ 16" O.C. WITH 1/2" GYP BD AT EACH SIDE

GENERAL NOTES

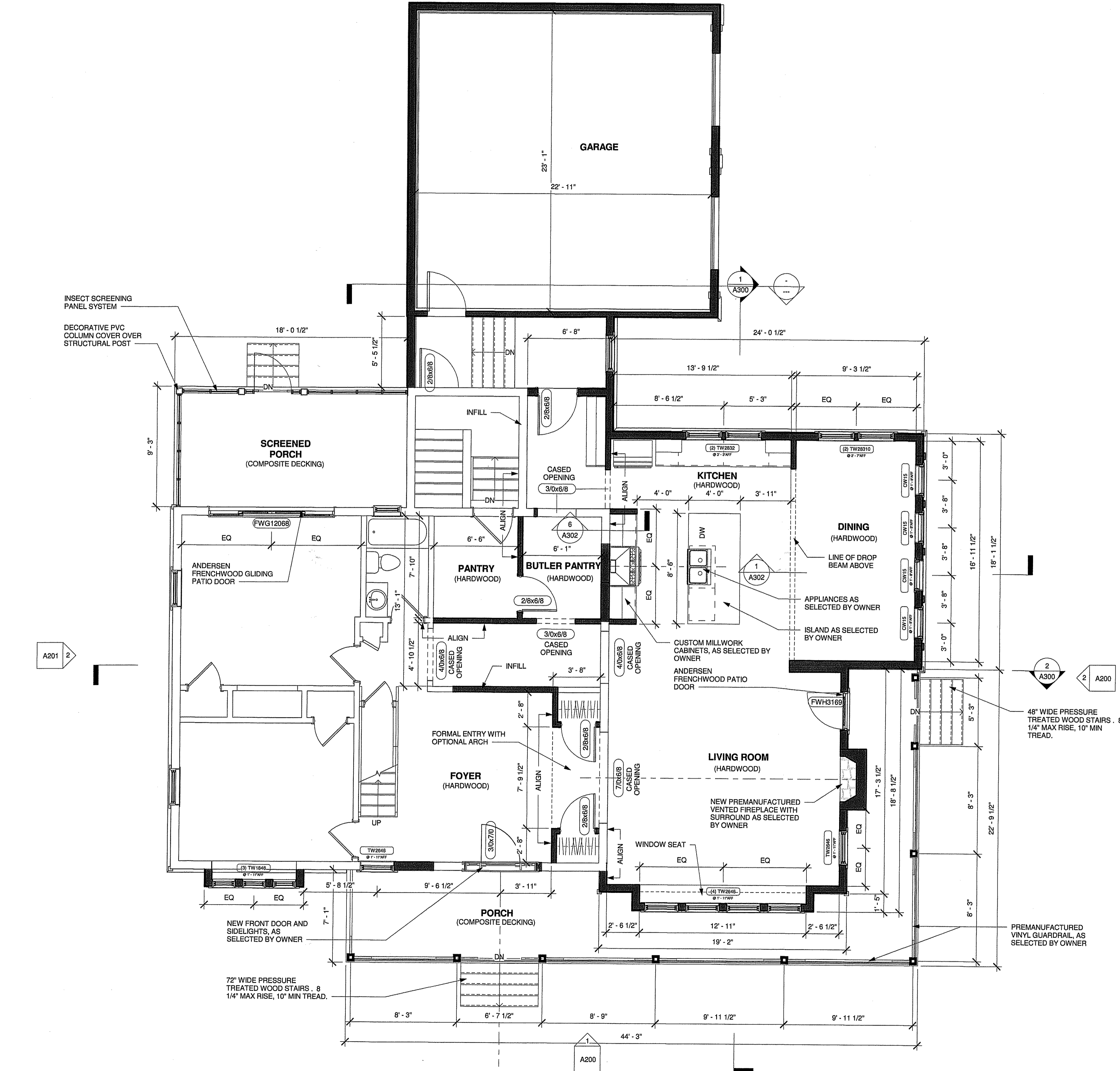
- GENERAL CONTRACTOR IS RESPONSIBLE TO MAINTAIN STRUCTURAL STABILITY OF EXISTING HOUSE DURING DEMOLITION WORK. PROVIDE TEMPORARY SHORING AS REQUIRED.
- NON BEARING PARTITIONS TO BE REMOVED FROM UNDERSIDE OF CEILING INCLUDING TOP AND BASEPLATE
- ALL WOOD FRAMING MATERIAL SHALL BE NO.2, KILNED DRY, OF ANY SPECIES GRADED UNDER WESTERN WOOD PRODUCTS ASSOCIATION (WWPA). ALL WOOD BELOW BASE FLOOD ELEVATION (BFE) SHALL BE PRESERVATIVE TREATED.
- GLUE-LAMINATED BEAMS SHALL BE GEORGIA-PACIFIC 2.0E OR 1.8E LAMINATED VENEER LUMBER (LVL) OR PARALLEL STRAND LUMBER (PSL) BEAMS. INSTALL IN STRICT ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS.
- WOOD FRAMING AND CONNECTIONS SHALL BE INSTALLED IN ACCORDANCE WITH METHODS OUTLINED IN THE WOOD FRAMED CONSTRUCTION MANUAL.
- ALL CONCRETE SHALL BE MANUFACTURED AND INSTALLED IN ACCORDANCE WITH STANDARD PROVIDED ASTM C94. EXTERIOR SLABS ON GRADE SHALL MEET A COMPRESSIVE STRENGTH OF 4500 PSI WITH A MAXIMUM WATER-CEMENTITIOUS RATIO OF .45. AND 6% AIR ENTRAINMENT. INTERIOR SLABS ON GRADE AND STRUCTURAL CONCRETE SHALL MEET A COMPRESSIVE STRENGTH OF 3000 PSI WITH A MAXIMUM WATER-CEMENTITIOUS RATIO OF .55. AND 6% AIR ENTRAINMENT.
- ALL DECORATIVE ELEMENTS AND FINISHES ARE TO BE SELECTED BY OWNER. VERIFY WITH OWNER BEFORE ORDERING AND INSTALLATION, TYP. FOR ENTIRE PROJECT.
- DOUBLE UP ALL FLOOR JOISTS OR PROVIDE SOLID BLOCKING BETWEEN ALL JOISTS BELOW ALL BEARING WALLS, TUBS, AND APPLIANCES.
- PLUMBING CONTRACTOR TO PROVIDE WASTE AND SUPPLY WATER LINES AND GAS DIAGRAM TO BUILDING DEPARTMENT FOR APPROVAL.
- ALL NEW **CONSTRUCTION NOTES** REFER TO PLANS FOR



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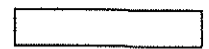


PETTY JOHN RESIDENCE
 RENOVATION & ADDITION
 338 RT. 79
 MORGANVILLE, NJ 07751
 BLOCK: 160.01, LOT: 1

OWNER	PROJECT LOCATION
No. REVISIONS / ISSUES	DATE
ISSUED FOR ZONING	02/24
CHECKED BY: DMC	DRAWN BY: DMC
DRAWING TITLE: FIRST FLOOR PLAN	
DRAWINGS NO. A100	



1 1ST FLOOR PLAN
 1/4" = 1'-0"

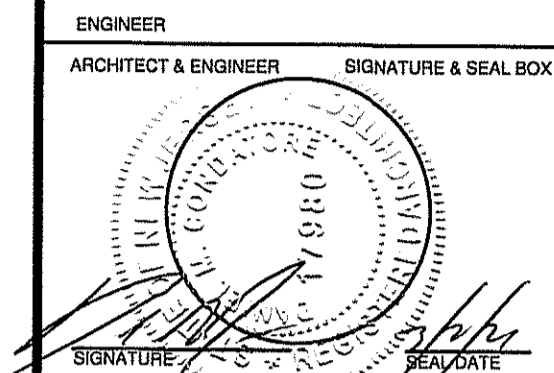
WALL LEGEND

	EXISTING WALLS TO REMAIN
	EXISTING WALLS TO BE REMOVED
	NEW STUD WALLS 2X4 WOOD STUDS (2X6 EXTERIOR) @ 16" O.C. WITH 1/2" GYP BD AT EACH SIDE

GENERAL NOTES

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**PETTYJOHN RESIDENCE
 RENOVATION & ADDITION**

338 RT. 79
 MORGANVILLE, NJ 07751
 BLOCK: 160.01, LOT: 1

OWNER
 PROJECT LOCATION

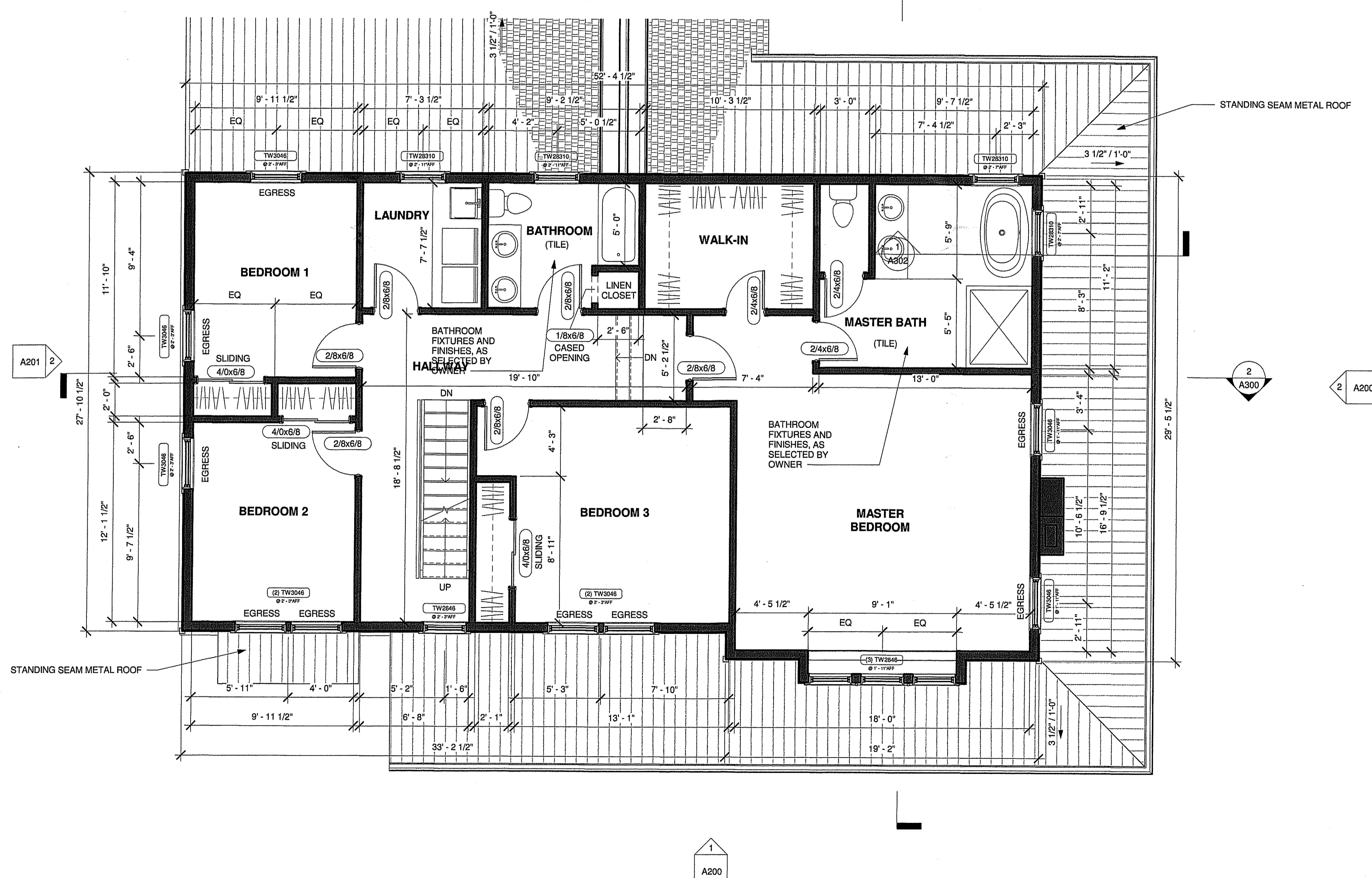
No.	REVISIONS / ISSUES	DATE
	ISSUED FOR ZONING	02/24/21

CHECKED BY: DMC DRAWN BY: DMC

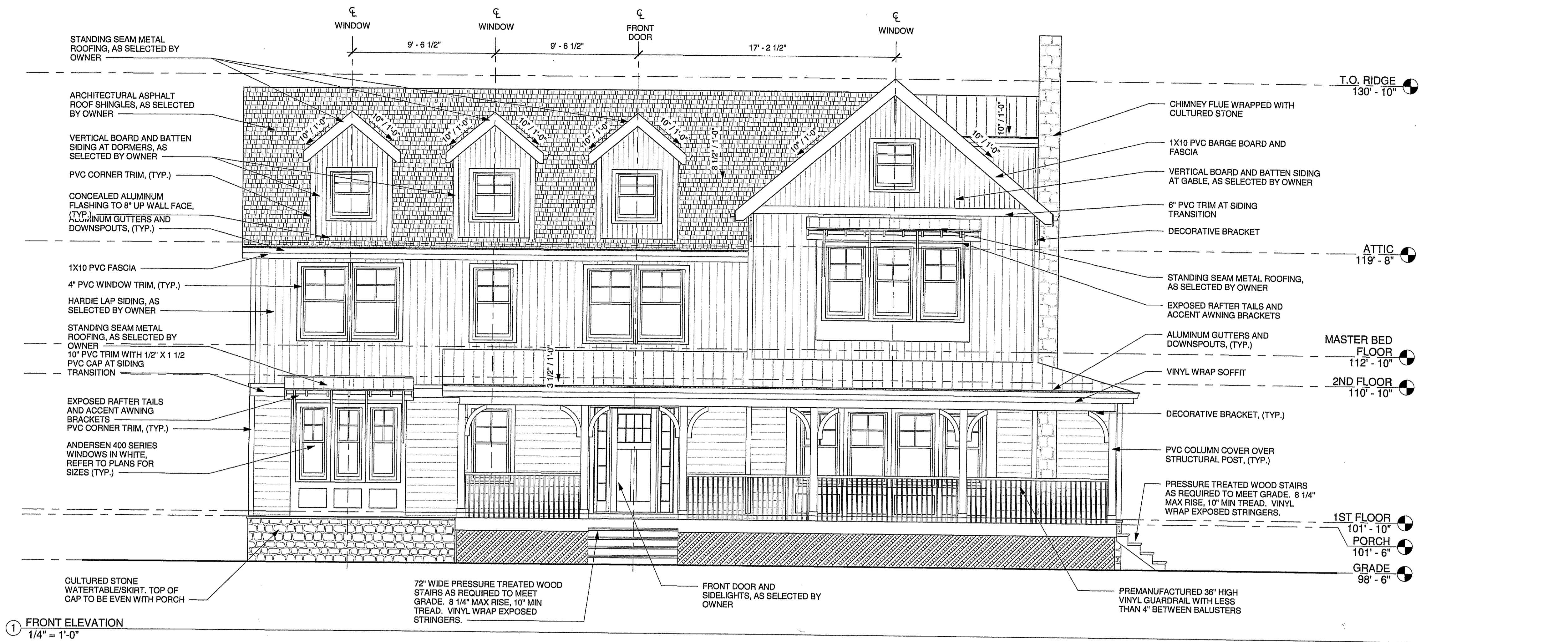
SCALE:

DRAWING TITLE:
SECOND FLOOR PLAN

DRAWING NO.
A101



1 2ND FLOOR PLAN
 1/4" = 1'-0"



1 FRONT ELEVATION
1/4" = 1'-0"



2 RIGHT ELEVATION
1/4" = 1'-0"

mode
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ENGINEER
ARCHITECT & ENGINEER
SIGNATURE & SEAL BOX
[Signature]
SIGNATURE DATE

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RENOVATION & ADDITION

338 RT. 79
MORGANVILLE, NJ 07751
BLOCK: 160.01, LOT: 1

OWNER
PROJECT LOCATION

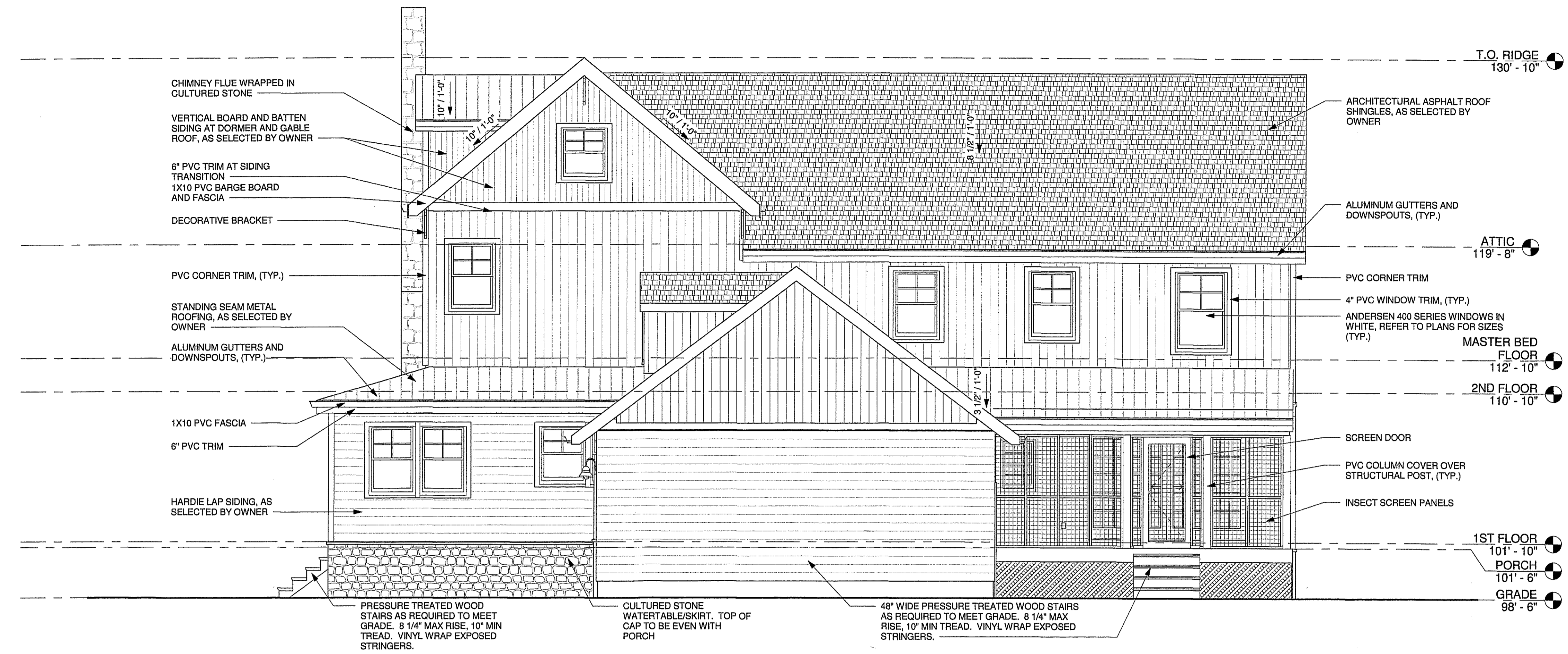
No.	REVISIONS / ISSUES	DATE
1	ISSUED FOR ZONING	02/24/21

CHECKED BY: DMC
DRAWN BY: DMC

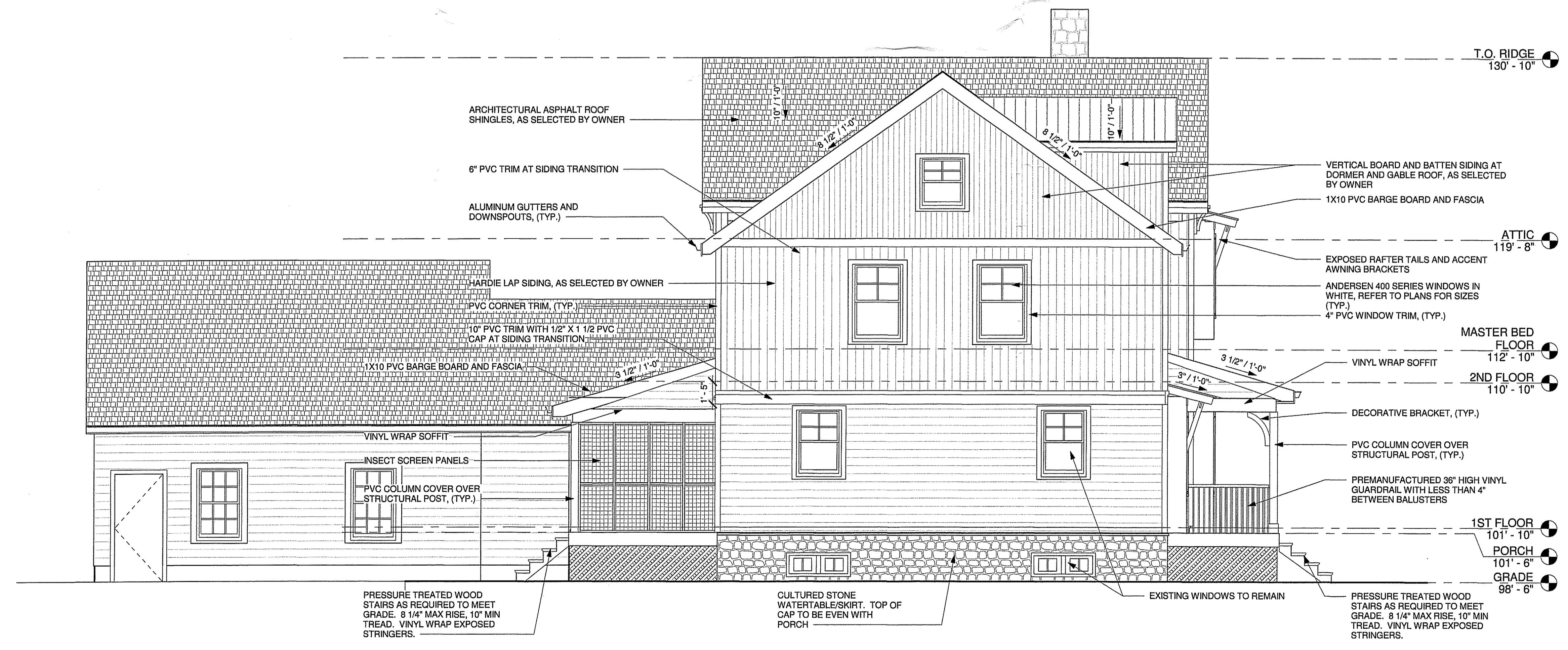
DRAWING TITLE:
EXTERIOR ELEVATIONS

DRAWING NO:
A200

ENGINEER
 ARCHITECT & ENGINEER
 SIGNATURE & SEAL BOX



1 BACK ELEVATION
 1/4" = 1'-0"



2 LEFT ELEVATION
 1/4" = 1'-0"

PETTYJOHN RESIDENCE
 RENOVATION & ADDITION

338 RT. 79
 MORGANVILLE, NJ 07751
 BLOCK: 160.01, LOT: 1

OWNER	PROJECT LOCATION		
No.	REVISIONS / ISSUES	DATE	
	ISSUED FOR ZONING	02/24/21	
CHECKED BY:	DMC	DRAWN BY:	DMC
SCALE:			
DRAWING TITLE:			
EXTERIOR ELEVATIONS			
DRAWING No. A201			