

AMENDED PRELIMINARY AND FINAL SITE PLAN

FOR

TENNENT ROAD WASH AND LUBE, LLC

BLOCK 122, LOT 33

TOWNSHIP OF MARLBORO

MONMOUTH COUNTY, NEW JERSEY

GENERAL NOTES:

- PROPERTY SHOWN AS BLOCK 122 LOT 33, TOWNSHIP OF MARLBORO, MONMOUTH COUNTY, NEW JERSEY, AS SHOWN ON THE MARLBORO ZONING MAP SHEET NUMBER 8, LAST REVISED MAY 2022.
- THE PROPERTY IS LOCATED IN THE C-2 RESIDENTIAL COMMERCIAL DISTRICT ZONE CONTAINING AREA 2004, 2004A SF.
- OUTSTANDING INFORMATION BASED ON FIELD SURVEY CONDUCTED BY GRANMER ENGINEERING, P.A. IN MARCH 2024.
- TOPOGRAPHIC INFORMATION BASED ON MAP ENTITLED "TOPOGRAPHIC SURVEY, TENNENT ROAD WASH & LUBE, LLC, LOT 33, BLOCK 122, TOWNSHIP OF MARLBORO, MONMOUTH COUNTY, NEW JERSEY" PREPARED BY RALPH C. FOX, PLS., DATED MARCH 27, 2024.
- PROPERTY LINE WHEN ZONE "C" - AREAS ESTIMATED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD AS SHOWN ON FEMA MAP FLOOD INSURANCE RATE MAP NUMBER 34020C0203P EFFECTIVE 9/25/2009.
- ELECTRIC, TELEPHONE, CABLE, ETC. SHALL BE INSTALLED PER UTILITY COMPANY DESIGN.
- THE CONTRACTOR SHALL BE REQUIRED TO LOCATE ALL EXISTING UTILITIES PRIOR TO EXISTENTIAL WORKS AND SHALL NOTIFY ANY AGENCY AS POTENTIAL CONFLICTS EXIST. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING PRIOR TO COMMENCEMENT OF CONSTRUCTION. ANY CHANGES TO PHYSICAL FEATURES FOUND TO EXIST THAT DIFFER FROM THAT INDICATED ON THE SITE DRAINAGE SHALL REQUIRE IMMEDIATE NOTICE TO THE ENGINEER.
- CONTRACTORS INSTALLING ANY IMPROVEMENTS SHOWN HEREIN ARE SOLELY RESPONSIBLE FOR PROVIDING ALL APPROPRIATE SAFETY SERVICES AND TRAINING TO ALL WORKERS IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL OCCUPATIONAL HEALTH AND SAFETY REGULATIONS.
- VERTICAL CONTROL BASED ON ASSUMED DATUM.
- EXISTING UNDERGROUND UTILITIES MUST BE MARKED OUT PRIOR TO ANY ON-SITE EXCAVATION BY CALLING THE UTILITY LOCATOR SERVICE (1-800-373-7009) AND/OR LOCAL UTILITY COMPANIES, AS MAY BE NECESSARY.
- STRIPES IN THE PARKING LOT AREA SHALL BE 4" WIDE PAINTED WHITE LINE, UNLESS OTHERWISE NOTED.
- THIS SET OF PLANS HAS BEEN PREPARED FOR PURPOSES OF MUNICIPAL AND AGENCY REVIEW AND APPROVAL. THIS SET OF PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED ON THE ORIGINAL AND EACH APPROVED HAS BEEN REVISED TO INDICATE "ISSUED FOR CONSTRUCTION".
- THIS IS A SITE DEVELOPMENT PLAN AND UNLESS SPECIFICALLY NOTED ELSEWHERE HEREIN IS NOT A SURVEY.
- EXISTING UTILITY INFORMATION SHOWN HEREIN HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL BE OBLIGATED TO CONFIRM EXACT HORIZONTAL LOCATIONS AND DEPTHS PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO HIS SATISFACTION PRIOR TO EXCAVATION. TO AVOID ANY EXTRA EVENTS, MATERIAL AND DELAY, TEST THE INFORMATION SHALL BE OBTAINED PRIOR TO CONSTRUCTION TO VERIFY ACCURACY. AS REQUIRED TO AVOID CONFLICTS, THE DESIGNATED PROFESSIONAL DOES NOT GUARANTEE THE ACCURACY OR COMPLETENESS OF THE EXISTING UTILITIES. THE CONTRACTOR SHALL OBTAIN A UTILITY RECORD.
- ALL MATERIALS, WORKMANSHIP AND CONSTRUCTION FOR THE IMPROVEMENTS SHOWN HEREIN SHALL BE IN ACCORDANCE WITH NJ DEPT. OF TRANSPORTATION'S 2001 STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AS CURRENTLY AMENDED, CURRENT PREVIOUS EDITIONS AND/OR COUNTY SPECIFICATIONS, STANDARDS AND REQUIREMENTS, AND CURRENT, FUTURE EDITIONS UTILITY COMPANY/ AUTHORITY SPECIFICATIONS, STANDARDS AND REQUIREMENTS.
- THE CONTRACTOR SHALL NOTIFY THE UNDERGROUND PROFESSIONAL IMMEDIATELY IF ANY FIELD CONDITIONS ENCOUNTERED DIFFER MATERIALLY FROM THOSE REPRESENTED HEREIN, AND/OR IF SUCH OPERATIONS, BY THE CONTRACTOR'S OPTION, WOULD OR COULD REVEAL THE RECORDS SHOW SIGNIFICANT INACCURACIES OR DEFICIENCIES.

APPLICANT: TENNENT ROAD WASH & LUBE, LLC
 6 TENNENT ROAD
 MARLBORO, NJ 07751

OWNER: TENNENT ROAD WASH & LUBE, LLC
 6 TENNENT ROAD
 MARLBORO, NJ 07751

200' PROPERTY OWNERS LIST

BLOCK	LOT	PROPERTY OWNER	PROPERTY LOCATION
122	30	SPACE WILLIAM E. 10 OGDARD PLACE MORRISVILLE, NJ 07751	18 OGDARD PLACE
123	4.01	PODOLLA, KAREN & MICHAEL 24 CHURCH LANE MORRISVILLE, NJ 07751	24 CHURCH LANE
123	4.02	VERMAN, MADHUSUDHAN & SHAROPA 11 TENNENT ROAD MORRISVILLE, NJ 07751	11 TENNENT ROAD
123	1	NU ENERGY REALTY LLC 258 WICH STREET NEW PALIZ, NY 12561	1 ROUTE 72
123	9	NU ENERGY REALTY LLC 258 WICH STREET NEW PALIZ, NY 12561	1 ROUTE 72
123	2	UNL ZHANG 3 TENNENT ROAD MORRISVILLE, NJ 07751	3 TENNENT ROAD
123	3	SHUK, BALGOPUR 7 TENNENT ROAD MORRISVILLE, NJ 07751	7 TENNENT ROAD
122	32	ENERGY FEDERAL SAVINGS BANK 613 WILSON AVENUE MORRISVILLE, NJ 07751	473 ROUTE 72
122	31	GENES ASSOCIATES, INC. A U.S. CORP 25 AUSTIN AVENUE OCEANSPRING, NJ 07074	ROUTE 72
122	35	11 TENNENT ROAD LLC 78 INDUSTRIAL DRIVE MORRISVILLE, NJ 07751	11 TENNENT ROAD
122	34	STRAND INSURANCE FINANCE CO., P.C. 22 TENNENT ROAD MORRISVILLE, NJ 07751	22 TENNENT ROAD

UTILITIES

W.M.U.A.
103 PONDON ROAD
OAKLAND, NJ 07728
ATTENTION: KATHY LEATHERMAN

MARLBORO TOWNSHIP WATER UTILITY
1070 TOWNSHIP DRIVE
MARLBORO, NJ 07746

ODDSON'S OVENNER WATER UTILITY
27 WANDERWOOD ROAD
MARLBORO, NJ 07746

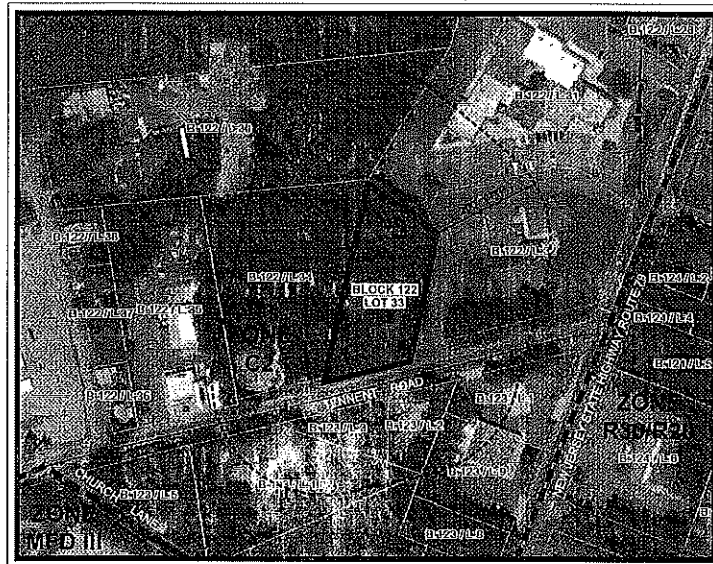
N.J. NATIONAL GAS COMPANY
1415 WOODCROFT ROAD
HILL, NJ 07731
ATTENTION: FRANK GRAY

CABLEVISION OF MONMOUTH
40 FINE STREET
TRENTON, NJ 07753

VERION NEW JERSEY INC
769 WAYSIDE ROAD
MORRISVILLE, NJ 07753

JERSEY CENTRAL POWER & LIGHT COMPANY
331 BURNING SPRING ROAD
318 ROUTE 2
RED BANK, NJ 07701
ATTN: JIM BOSTICE

STATE OF NJ DEPT. OF TRANSPORTATION
100 DANFELS AVE.
FREEHOLD, NJ 07728



KEY MAP
 1" = ±100'

APPROVED BY THE ZONING BOARD
 OF THE TOWNSHIP OF MARLBORO

CHAIRMAN _____ DATE _____

SECRETARY _____ DATE _____

ENGINEER _____ DATE _____

I HEREBY CERTIFY THAT I AM THE
 OWNER OF RECORD AND THAT I
 CONCUR WITH THE PLANS AS SHOWN.

Marc Markowitz

MARC MARKOWITZ
 TENNENT ROAD WASH & LUBE, LLC

ZONING SCHEDULE (C-2 ZONE)

BULK STANDARDS	REQUIRED	EXISTING	PROPOSED
MIN LOT AREA	10,000 SF	34,263 AS 57'	30,000 AS 57'
MIN LOT FRONTAGE	50 FT	54.68 AS 57'	54.68 AS 57'
MIN LOT WIDTH	30 FT	138 FT 1"	138 FT 1"
MIN LOT DEPTH	70 FT	253 FT	253 FT
MAX BUILDING COVERAGE	30%	N/A	12.86%
MAX BUILDING HEIGHT	25 FT	N/A	24.22 FT
MAX BULKYWARE COVERAGE	60%	N/A	18.24%
FLOOR AREA RATIO (FAR)	0.20	N/A	0.87
PROPOSED BUILDING			
FRONT YARD SETBACK	15 FT	N/A	64.2 FT
SIDE YARD SETBACK	5 FT	N/A	35.7 FT
REAR YARD SETBACK	5 FT	N/A	44.8 FT
PARKING REQUIREMENTS			
PROPOSED CAR WASH (PLAN)	12 SPACES/STALL (REQUIRE)	N/A	10 SPACES
PARKING SETBACK TO BUILDING	5 FT	N/A	4.2 FT
PROPOSED DRIVEWAY			
1% TOTAL PARKING (MINIMUM)			
TOTAL SPACES	2 SPACES		1 SPACE
PROPOSED DRIVEWAY			
* EXISTING NON-COMFORMITY			

LIST OF VARIANCES AND WAIVERS:

- 220-34 MIN LOT AREA 3 AC. REQUIRED, 0.21 AC. EXISTING NON-COMFORMITY TO CODE.
- 220-34 MIN LOT FRONTAGE 300 FT. REQUIRED, 150 FT. EXISTING NON-COMFORMITY TO CODE.
- 220-34 MIN LOT WIDTH 300 FT. REQUIRED, 140 FT. EXISTING NON-COMFORMITY TO CODE.
- 220-34 MIN SIDE SETBACK 50 FT. REQUIRED, 35 FT. PROPOSED.
- 220-34 MIN REAR SETBACK 50 FT. REQUIRED, 45.9 FT. PROPOSED.
- 220-34 MIN. PAVING SHALL BE WITHIN 20 FT. REQUIRED, 15 FT. PROPOSED. (EMPLOYEE STALLS)
- 220-34 MIN. PAVING SHALL BE WITHIN 10 FT. REQUIRED, 9 FT. PROPOSED. (EMPLOYEE STALLS)
- 220-34 MIN. PAVING SETBACK FROM FACE OF BUILDING 30 FT. REQUIRED, 5.7 FT. PROPOSED.
- 220-34 MIN. PAVING SETBACK FROM FACE OF BUILDING 30 FT. REQUIRED, 5.7 FT. PROPOSED.

PROPOSED SIGNAGE:

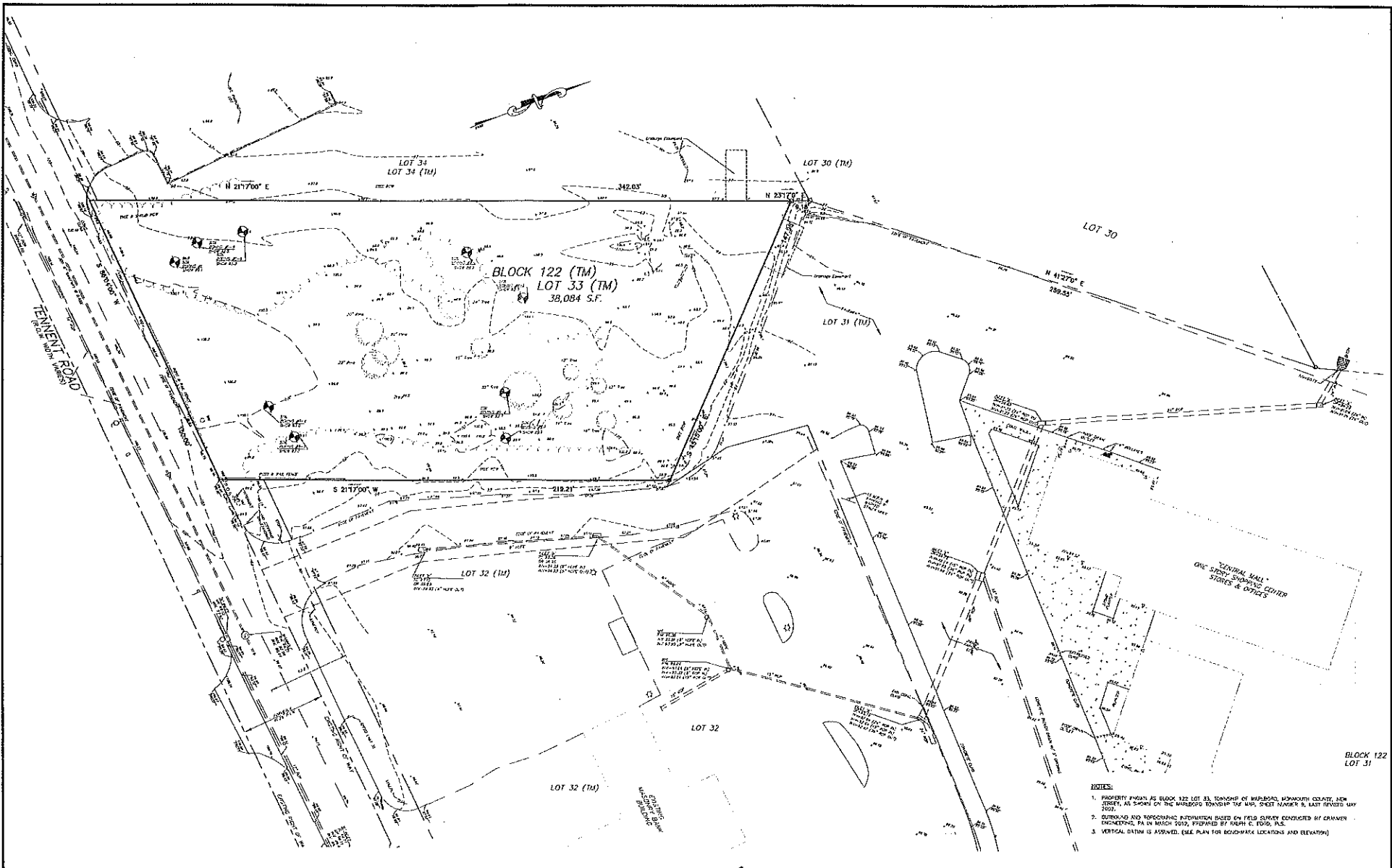
- 220-34 ONE (1) FREE-STANDING SIGN WITH HEIGHT 15' MAX. AREA 50 SF MAX. SETBACK 15 FT.
- TWO (2) CARWASH SIGN WITH MAX. AREA 35 SF.
- THREE (3) FACADE SIGN (REFER TO ARCH. PLANS) 30 SF AREA EACH (6' X 10' 30 SF SIGN FACADE (6' X 10' 10' OF EACH FACADE (6' X 10')

PARKING SUMMARY:

CAR WASH RESERVOR 13 SPACES
 EMPLOYEE STALLS 2 SPACES
 VEHICLE STALLS 15 SPACES (ONE 1 SPACER-TWO)

No.	TITLE SHEET	DATE
1	TITLE SHEET	2/16/21
2	EXISTING CONDITIONS	2/16/21
3	SITE PLAN	2/16/21
4	GRADING & SOIL EROSION & SEDIMENT CONTROL PLAN	2/16/21
5	DRAINAGE PLAN	2/16/21
6	PIPE PROFILE	2/16/21
7	LANDSCAPING PLAN	2/16/21
8	LIGHTING PLAN	2/16/21
9	CONSTRUCTION DETAILS	2/16/21
10	CONSTRUCTION DETAILS	2/16/21
11	CONSTRUCTION DETAILS / SOIL EROSION & SEDIMENT CONTROL DETAILS	2/16/21
12	SOIL EROSION & SEDIMENT CONTROL NOTES	2/16/21
13	SOIL EROSION & SEDIMENT CONTROL NOTES	2/16/21

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- NOTES:
1. PROPERTY POINTS AS BLOCK 122 LOT 33, TOWNSHIP OF MARLBORO, MONMOUTH COUNTY, NEW JERSEY, AS SHOWN ON THE MARLBORO TOWNSHIP TAX MAP, SHEET NUMBER 8, LAST REVISED MAY 2007.
 2. SURROUNDING AND TOPOGRAPHIC INFORMATION BASED ON FIELD SURVEY CONDUCTED BY CRANMER ENGINEERING, P.A. IN MARCH 2009, PREPARED BY ROBERT C. FORD, P.E.
 3. VERTICAL DATUM IS ASSUMED. (SEE PLAN FOR BENCH MARK LOCATIONS AND ELEVATION)

NO.	DATE	REVISION

NOTES:

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GRAPHIC SCALE

1 INCH = 20 FEET

David A. Cranmer

DAVID A. CRANMER, PE
 LICENSED PROFESSIONAL ENGINEER
 STATE OF NEW JERSEY LICENSE No. 41926

CE™ **Cranmer Engineering, P.A.**

4000 STATE STREET SUITE 1000
 MARLBORO, NJ 08053
 TEL: 732.333.1000 FAX: 732.333.1001

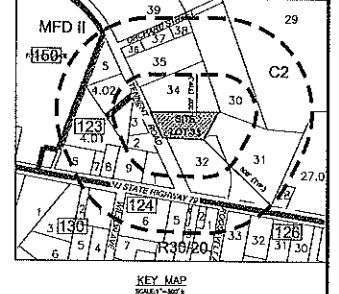
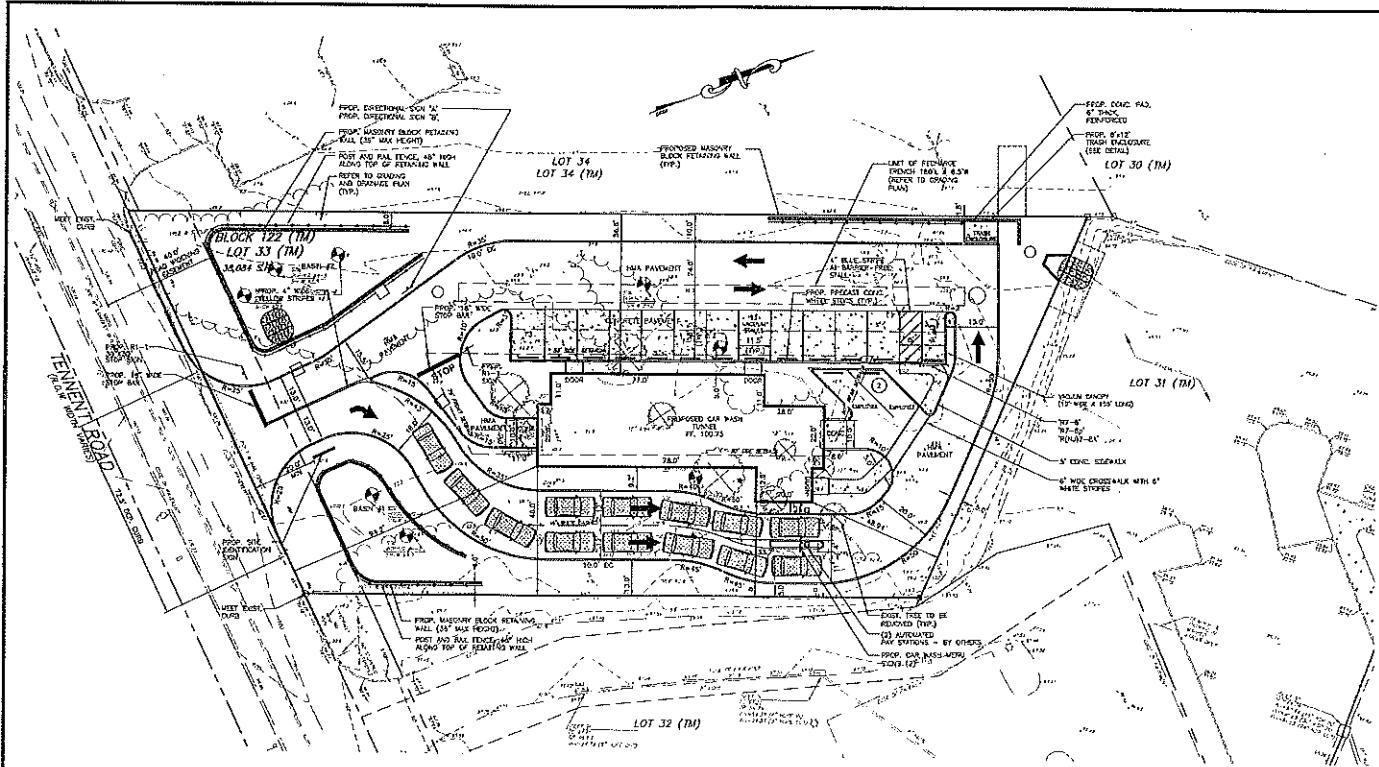
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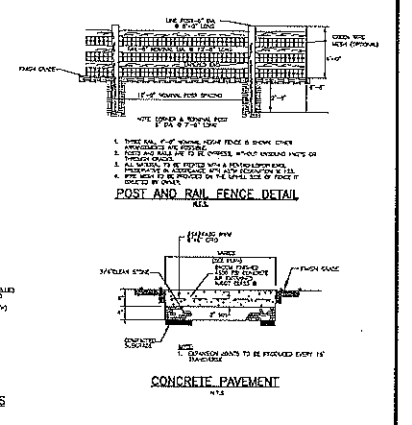
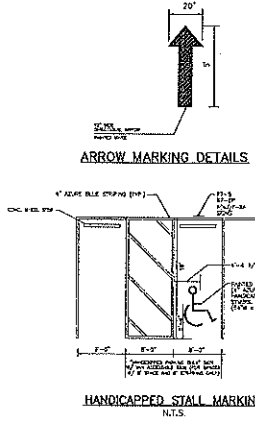
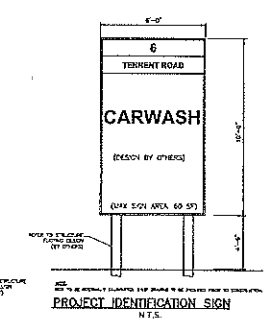
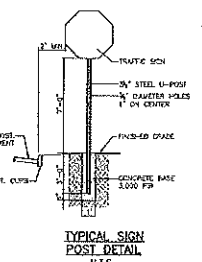
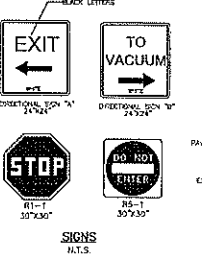
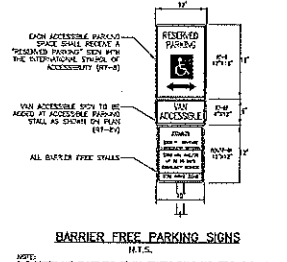
EXISTING CONDITIONS PLAN
TENNENT ROAD WASH & LUBE, LLC
 LOT 33, BLOCK 122
 TOWNSHIP OF MARLBORO MONMOUTH COUNTY NEW JERSEY

PROJECT NO. 2018-015-125
 SHEET NO. EM/OK
 DATE
 DATE FEBRUARY 18, 2021

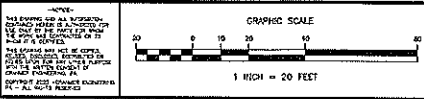
DESIGNED BY GAC/AJPS
 CHECKED BY GAC
 SHEETS 2 of 13



- CONSTRUCTION NOTES:**
- ALL WORK TO CONFORM WITH THE LATEST EDITION OF THE FOLLOWING:
 HOOD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION
 MONMOUTH COUNTY DESIGN STANDARDS
 MUNICIPAL DESIGN STANDARDS
 CURRENT MANUFACTURER'S SPECIFICATIONS, STANDARDS, AND REQUIREMENTS
 CURRENT FEDERAL UTILITY CODEBOOK OF AUTHORITY SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.
 - ALL BARRIER FREE CONSTRUCTION TO BE IN ACCORDANCE WITH THE NJ LATEST CONSTRUCTION CODE, SUBCHAPTER 17 BARRIER FREE SURFACE AND ADA REGULATIONS WHERE FEASIBLE.
 - CONTRACTOR IS RESPONSIBLE TO SECURE ALL WORKER SAFETY, TRAINING, AND SAFETY DEVICE USAGE FOR AND DURING THE CONSTRUCTION OF THE IMPROVEMENTS SHOWN ON THIS PLAN.
 - THE CONTRACTOR IS DESIGNATED AS RESPONSIBLE PARTY FOR THE CONSTRUCTION OF THE IMPROVEMENTS SHOWN HEREON, AS SUCH CONTRACTOR SHALL PROVIDE ADEQUATE SAFETY TRAINING, EQUIPMENT, AND OUTSTANDING.
 - CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL REQUIRED PERMITS AND APPROVALS FOR CONSTRUCTION OF THE DEPICTED SITE IMPROVEMENTS.
 - ALL DISTURBED AREAS ON SITE TO BE STABILIZED IN ACCORDANCE WITH THE PRECEDING SOIL CONSERVATION DISTRICT STANDARDS.
 - ALL AREAS NOT COVERED BY IMPROVED SURFACE SHALL BE SEIZED OR OTHERWISE STABILIZED IN ACCORDANCE WITH SOIL EROSION CONTROL SPECIFICATIONS.
 - THE NEW JERSEY ONE CALL SYSTEM MUST BE CONDUCTED PRIOR TO EXCAVATION ON-SITE OR WITHIN FLOW (600) 242-1000.
 - ALL UTILITY CONNECTIONS AND REGULATIONS ARE SHOWN HEREON. THE CONTRACTOR SHALL CONTACT AND COORDINATE WITH EACH UTILITY COMPANY AND ARCHITECT TO PROVIDE THE MOST APPROPRIATE LOCATION FOR UTILITY CONNECTIONS AND/OR RELOCATION.
 - EXISTING SITE AND UTILITY INFORMATION SHOWN ON THIS PLAN HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS.
 - ALL TRAFFIC SIGNS AND STRIPING SHALL CONFORM WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
 - ALL WATER AND SEWER SERVICES SHALL BE INSTALLED WITH A HORIZONTAL SEPARATION OF 10' OR A VERTICAL SEPARATION OF 18", OR BE ENCASED IN CONCRETE, 6" THICK, 10' ON EITHER SIDE OF CROSSINGS.
 - ANY DAMAGE TO EXISTING STRUCTURES AS A RESULT OF THIS DEVELOPMENT, SHALL BE REPAIRED AT THE SOLE EXPENSE OF THE CONTRACTOR.
 - EXISTING ROW, WORK, TRAFFIC TO BE PROTECTED AND MAINTAINED IN ACCORDANCE WITH RELATED REQUIREMENTS.
 - CONTRACTOR TO WATCH EXISTING PAVEMENT SPECIFICATIONS FOR ALL PAVEMENT REPAIR TO EXISTING ROADWAYS.
 - CONCRETE SHALL BE ROOF SLABS UNLESS OTHERWISE SPECIFIED HEREON OR WITHIN THE CONSTRUCTION DETAILS.
 - ALL IMPROVEMENTS SHOWN HEREON TO BE REPAIRED AS A MAJOR PART CONTRARY TO LOCAL OR STATE REGULATIONS.
 - CONTRACTOR TO NOTIFY THE UNDERSIGNED PROFESSIONAL IF FIELD CONDITIONS VARY FROM THAT WHICH IS SHOWN HEREON.
 - THIS PLAN SET HAS BEEN PREPARED FOR MUNICIPAL AND AGENCY APPROVALS. THIS PLAN NOT TO BE USED FOR CONSTRUCTION UNTIL AVOIDED FOR CONSTRUCTION.
 - ALL ROOF LEADER DOWNSPOUTS ARE TO BE FITTED WITH SPLASH BLOCKS AND REFERRED TO THE STREET UNLESS OTHERWISE SPECIFIED.
 - ANY EXISTING STREET TREES REMAINING DURING CONSTRUCTION SHALL BE PROTECTED BY A TREE OF SUITABLE SIZE AND SPECIES AS APPROVED BY THE BOARDMAN, PLANTED BEHIND THE SIDEWALK IN THE FOOT OF BAY.
 - MECHANICAL SYSTEMS OF ALL AFFECTED ROADWAYS TO BE PERFORMED EACH DAY, OR AS NECESSARY.



NO.	DATE	REVISION

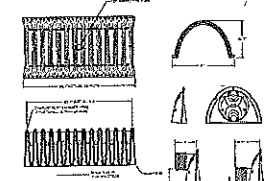
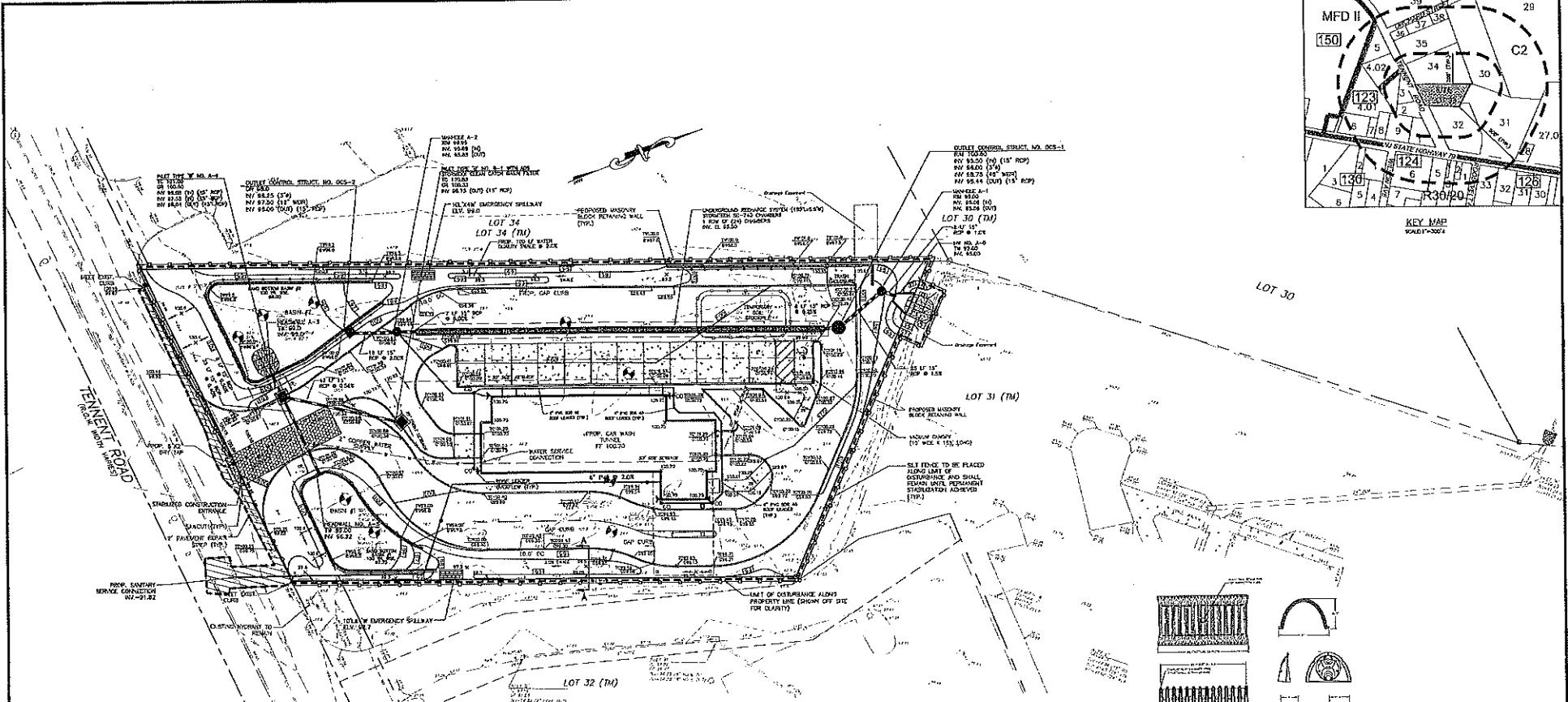
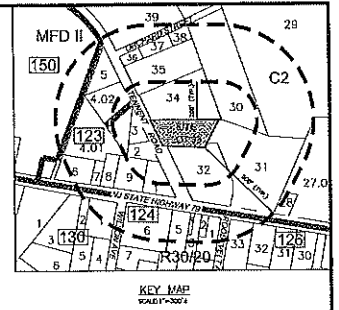


DAVID A. CRANMER, PE
 LICENSED PROFESSIONAL ENGINEER
 STATE OF NEW JERSEY LICENSE NO. 41926

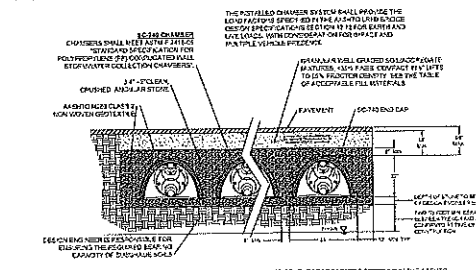
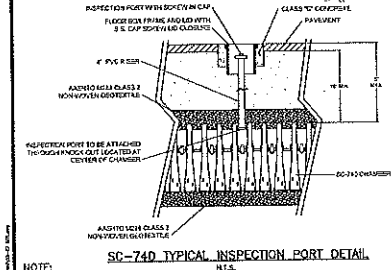
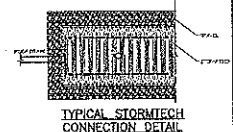
Cranmer Engineering, P.A.
 COMPANY HEADQUARTERS: 400 Park Street, Suite 1500, Marlboro, NJ 07641
 TEL: (973) 244-8900 FAX: (973) 244-8902
 SOUTHEAST REGIONAL OFFICE: 201 Lakeside Avenue, Elizabeth, NJ 07208
 TEL: (908) 676-3300 FAX: (908) 676-3304
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AMENDED PRELIMINARY & FINAL SITE PLAN
TENNENT ROAD WASH & LUBE, LLC
 LOT 33, BLOCK 122
 TAX MAP SHEET NO. 9
 TOWNSHIP OF MARLBORO MONMOUTH COUNTY NEW JERSEY

PROJECT NO. 2018-015-125	NO. 02-97 STR-013
DRAWN BY: HJA/OK	DESIGNED BY: DAC/WFS
SCALE: 1"=20'	TRAINED BY: DAC
DATE: FEBRUARY 16, 2021	SHEET NO. 3 OF 13



- NOTES:
1. ALL STORMTECH CHAMBERS SHALL BE CONSTRUCTED WITH A MINIMUM OF 18" OF COVER OVER THE TOP OF THE CHAMBER.
 2. THE STORMTECH CHAMBERS SHALL BE CONSTRUCTED WITH A MINIMUM OF 18" OF COVER OVER THE TOP OF THE CHAMBER.
 3. THE STORMTECH CHAMBERS SHALL BE CONSTRUCTED WITH A MINIMUM OF 18" OF COVER OVER THE TOP OF THE CHAMBER.
 4. THE STORMTECH CHAMBERS SHALL BE CONSTRUCTED WITH A MINIMUM OF 18" OF COVER OVER THE TOP OF THE CHAMBER.
 5. THE STORMTECH CHAMBERS SHALL BE CONSTRUCTED WITH A MINIMUM OF 18" OF COVER OVER THE TOP OF THE CHAMBER.



ACCEPTABLE FILL MATERIALS: STORMTECH SC-740 AND SC-310 CHAMBER SYSTEMS

MATERIAL LOCATION	DESCRIPTION	AGGREGATE DESIGNATION	COMPACTION/DESIGNITY REQUIREMENT
1	BASE COURSE	3/4" MIN. S&W	95% PROCTOR
2	STORMTECH CHAMBER	3/4" MIN. S&W	95% PROCTOR
3	STORMTECH CHAMBER	3/4" MIN. S&W	95% PROCTOR
4	STORMTECH CHAMBER	3/4" MIN. S&W	95% PROCTOR
5	STORMTECH CHAMBER	3/4" MIN. S&W	95% PROCTOR

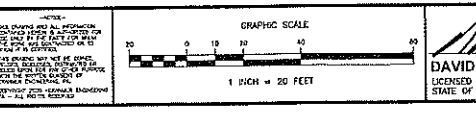
NOTE: ANY IMPORTED FILL IS TO MEET THE DEFINITION OF CLEAN FILL, PURSUANT TO THE TECHNICAL REQUIREMENTS FOR SITE REMEDIATION (AS FOUND AT NJAC 7:26E-1.8).

THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS TO EXCAVATE THE EXISTING CHAMBER SYSTEMS AND TO RECONSTRUCT THE CHAMBER SYSTEMS IN ACCORDANCE WITH THE TECHNICAL REQUIREMENTS FOR SITE REMEDIATION (AS FOUND AT NJAC 7:26E-1.8).

STORMTECH ACCEPTABLE FILL MATERIALS

AREA OF DISTURBANCE 40,810 S.F. = 0.937 AC.

NO.	DATE	DESCRIPTION

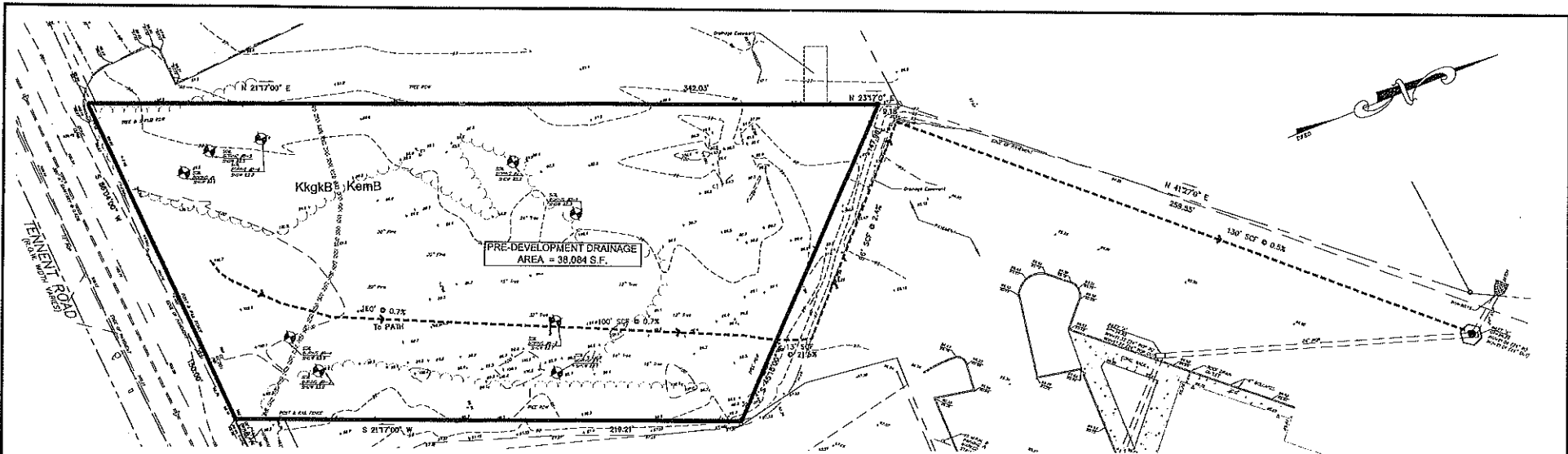


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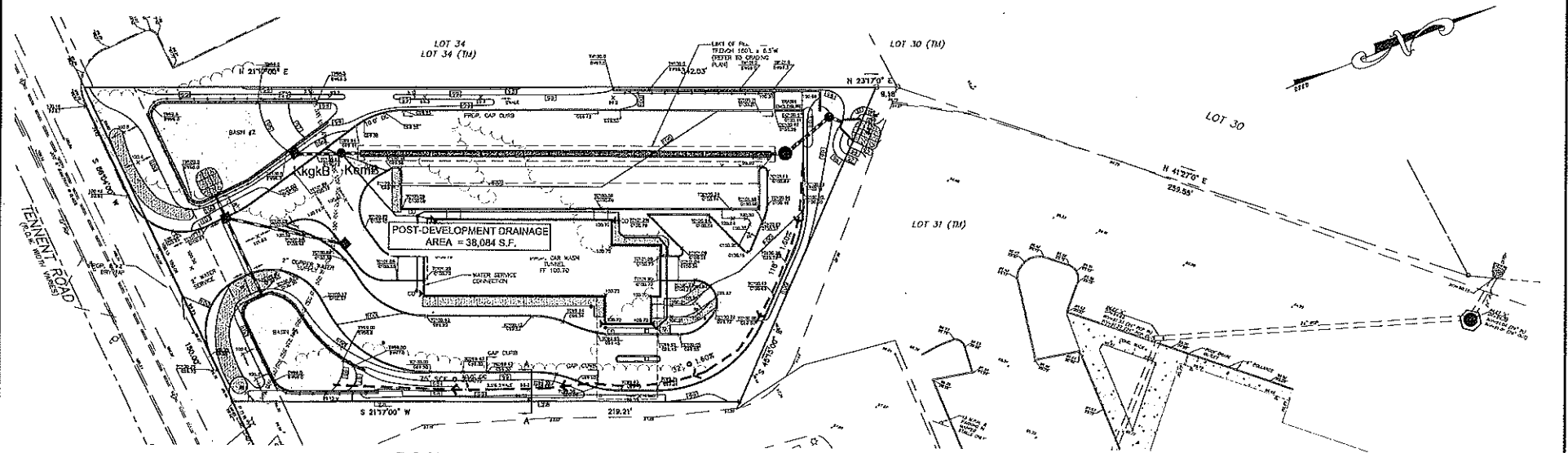
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GRADING PLAN AND SOIL EROSION SEDIMENT CONTROL PLAN
 TENNENT ROAD WASH & LUBE, LLC
 LOT 33, BLOCK 122
 TAX MAP SHEET NO. 9
 TOWNSHIP OF MARLBORO NONMOUTH COUNTY NEW JERSEY

SCALE: 1" = 20'
 DATE: FEBRUARY 16, 2021
 SHEET NO. 4 OF 13



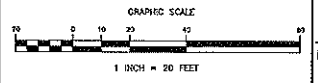
PRE-DEVELOPMENT DRAINAGE AREA MAP



POST-DEVELOPMENT DRAINAGE AREA MAP

NO. 1	DATE	REVISION

SEE DRAWING AND ALL ATTACHED SHEETS FOR COMPLETE INFORMATION. THIS DRAWING IS TO BE USED ONLY BY THE PARTY FOR WHOM IT WAS PREPARED. ANY REVISIONS MUST BE MADE BY THE ORIGINAL DESIGNER. THIS DRAWING IS THE PROPERTY OF CRANMER ENGINEERING, P.A. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF CRANMER ENGINEERING, P.A.

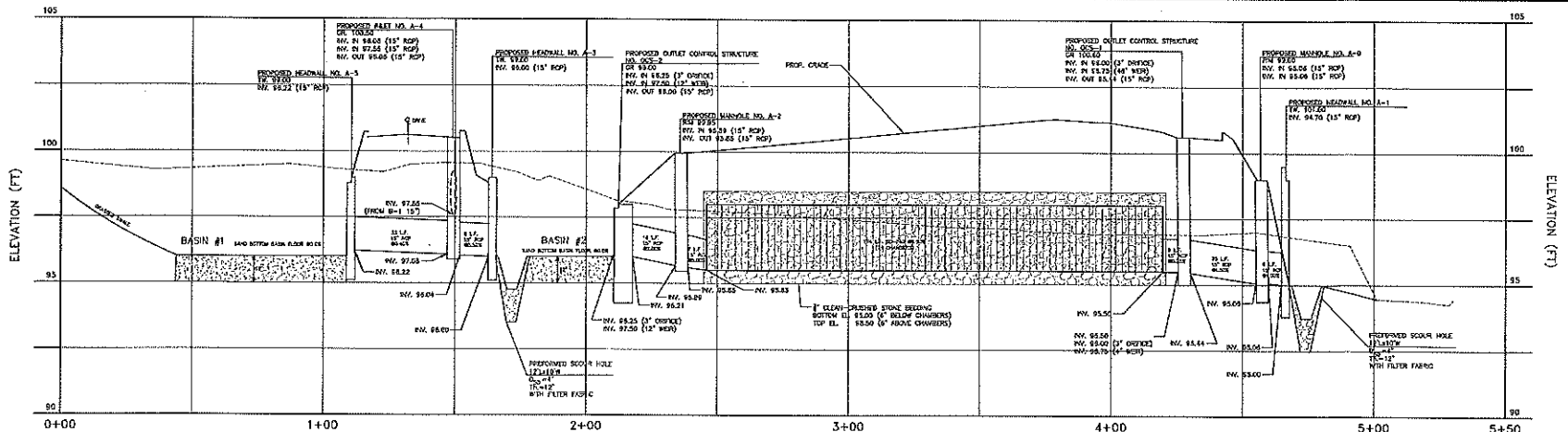


David A. Cranmer
DAVID A. CRANMER, PE
LICENSED PROFESSIONAL ENGINEER
STATE OF NEW JERSEY LICENSE No. 41926

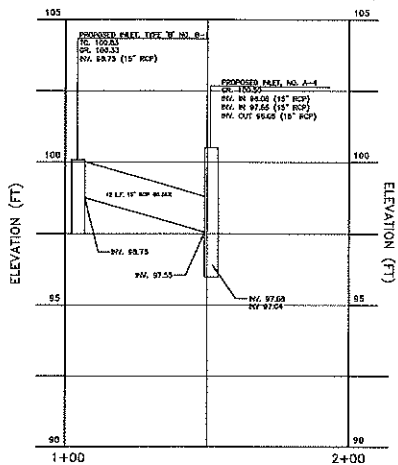
Cranmer Engineering, P.A.
 ENGINEERING OFFICE: 495 HIGHLAND AVENUE, SUITE 1000, BRIDGEWATER, NJ 08807
 TEL: (908) 234-8220 FAX: (908) 234-8225
 SURVEYING OFFICE: 201 HICKORY DRIVE, BRIDGEWATER, NJ 08807
 TEL: (908) 234-8220 FAX: (908) 234-8225
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DRAINAGE AREA MAPS
TENNEY ROAD WASH & LUBE, LLC
LOT 33, BLOCK 122
TAX MAP DISTRICT NO. 9
TOWNSHIP OF MARLBORO MONMOUTH COUNTY NEW JERSEY

DESIGN NO. 15018-016-122	DATE 02/18/2021
DRAWN BY JHM/OK	CHECKED BY DAC/MPS
SCALE 1"=20'	CREATED BY DAC
SHEET NO. 5	TOTAL SHEETS 13

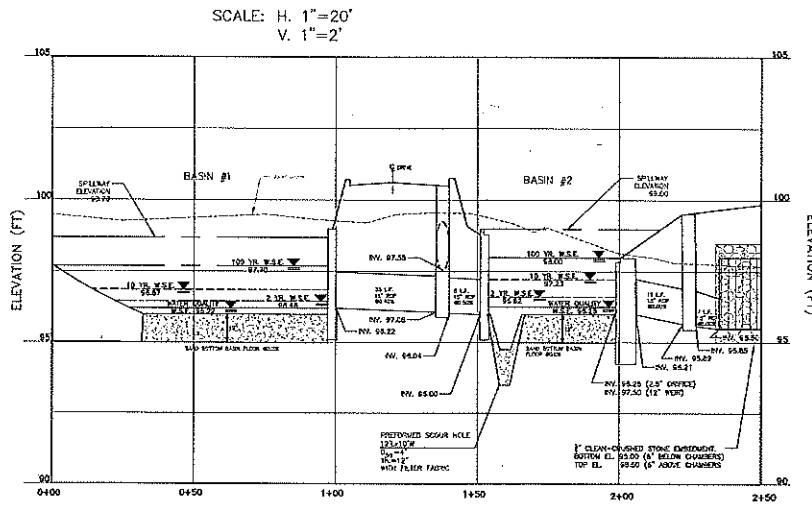


STORM SEWER PROFILE STATIONS
0+00 TO 5+50



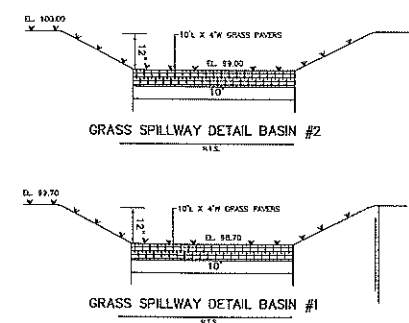
STORM SEWER PROFILE
INLET B-1
TO INLET A-4

SCALE: H. 1"=20'
V. 1"=2'



BASIN CROSS SECTION

SCALE: H. 1"=20'
V. 1"=2'

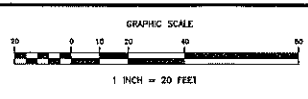


GRASS SPILLWAY DETAIL BASIN #2

GRASS SPILLWAY DETAIL BASIN #1

NO.	DATE	BY	DESCRIPTION

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David A. Cranmer
DAVID A. CRANMER, PE
 LICENSED PROFESSIONAL ENGINEER
 STATE OF NEW JERSEY LICENSE No. 41926

Cranmer Engineering, P.A.
 CORPORATE HEADQUARTERS: 300 NEW JERSEY TURNPIKE, SUITE 200, CHERRY HILL, NJ 08002
 SOUTHPLANT PERSONAL OFFICE: 333 KINGDOM DRIVE, CHERRY HILL, NJ 08002
 TEL: (609) 399-3200 FAX: (609) 399-3200
 TEL: (609) 929-2500 FAX: (609) 929-2500
 www.cranmerengineering.com INTEGRITY | INNOVATION | EXCELLENCE

PROJECT No. 2019-015-123
 SHEET No. PROJECT 449
 DESIGNED BY: HJV/OK
 CHECKED BY: BAC
 DATE: FEBRUARY 16, 2021

TENNENT ROAD WASH & LUBE, LLC
 LOT 33, BLOCK 122
 TAX MAP SHEET NO. 9
 TOWNSHIP OF MARLBORO, MONMOUTH COUNTY, NEW JERSEY
 SHEET No. 6 of 13