

MATCHLINE  
SHEET C-01



PROJECT INFORMATION

STONE RISE

DATE	DESCRIPTION
08/14/2008	PRELIMINARY PLAN
08/28/2008	FINAL PLAN
09/10/2008	REVISED PLAN
09/22/2008	REVISED PLAN
10/14/2008	REVISED PLAN
11/11/2008	REVISED PLAN
12/10/2008	REVISED PLAN
01/08/2009	REVISED PLAN
02/05/2009	REVISED PLAN
03/05/2009	REVISED PLAN
04/02/2009	REVISED PLAN
05/07/2009	REVISED PLAN
06/04/2009	REVISED PLAN
07/02/2009	REVISED PLAN
08/02/2009	REVISED PLAN
09/02/2009	REVISED PLAN
10/02/2009	REVISED PLAN
11/02/2009	REVISED PLAN
12/02/2009	REVISED PLAN
01/02/2010	REVISED PLAN
02/02/2010	REVISED PLAN
03/02/2010	REVISED PLAN
04/02/2010	REVISED PLAN
05/02/2010	REVISED PLAN
06/02/2010	REVISED PLAN
07/02/2010	REVISED PLAN
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09/02/2010	REVISED PLAN
10/02/2010	REVISED PLAN
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02/02/2011	REVISED PLAN
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04/02/2011	REVISED PLAN
05/02/2011	REVISED PLAN
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06/02/2013	REVISED PLAN
07/02/2013	REVISED PLAN
08/02/2013	REVISED PLAN
09/02/2013	REVISED PLAN
10/02/2013	REVISED PLAN
11/02/2013	REVISED PLAN
12/02/2013	REVISED PLAN

IN SITE

101 WEST 10TH AVENUE  
SUITE 100  
DENVER, COLORADO 80202  
TEL: 303.733.4444  
WWW.INSITE-CA.COM  
Eric Hallen  
OWNER

REVISIONS

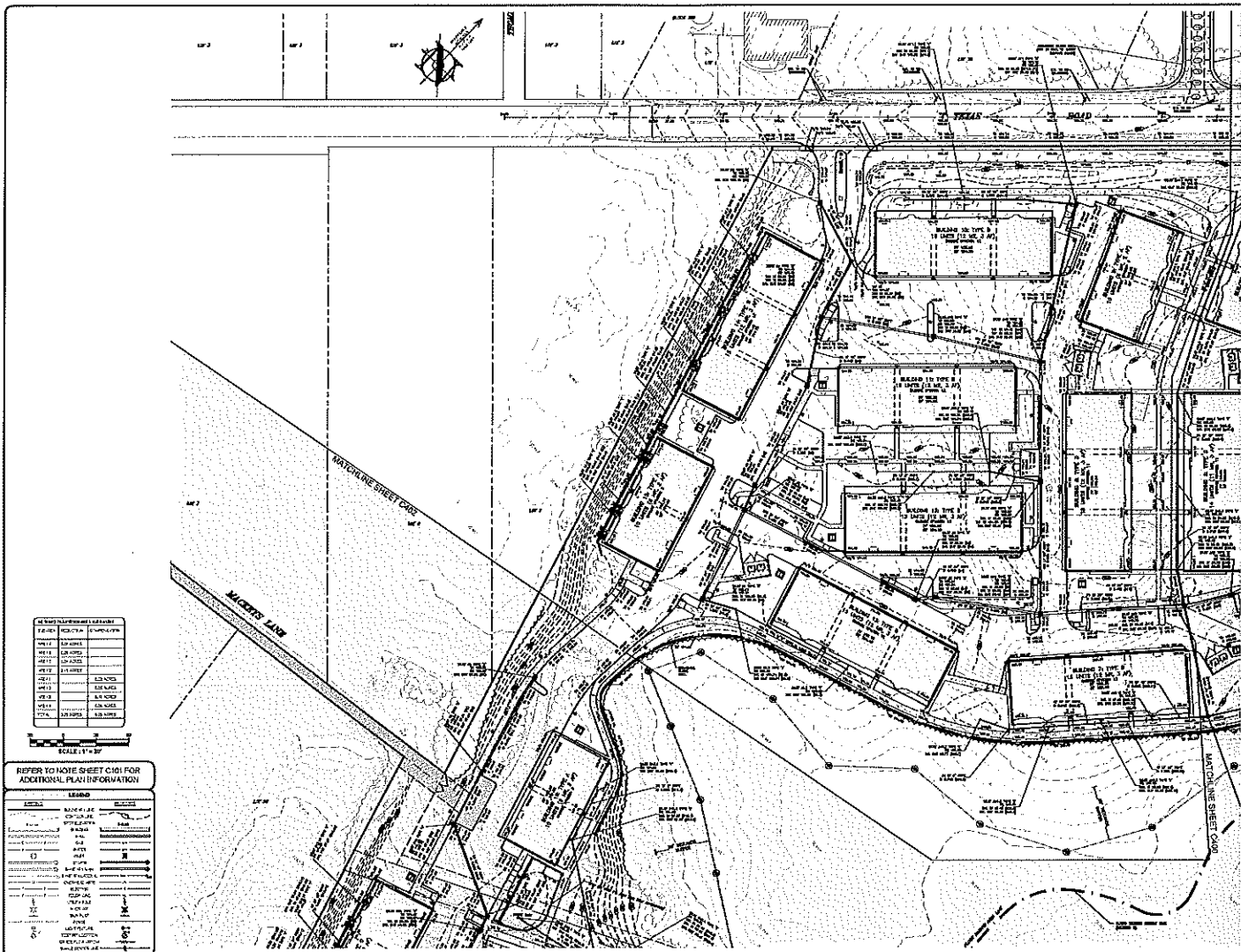
NO.	DATE	DESCRIPTION
1	08/14/2008	PRELIMINARY PLAN
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6	11/11/2008	REVISED PLAN
7	12/10/2008	REVISED PLAN
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61	06/02/2013	REVISED PLAN
62	07/02/2013	REVISED PLAN
63	08/02/2013	REVISED PLAN
64	09/02/2013	REVISED PLAN
65	10/02/2013	REVISED PLAN
66	11/02/2013	REVISED PLAN
67	12/02/2013	REVISED PLAN

REFER TO NOTE SHEET C-01 FOR ADDITIONAL PLAN INFORMATION

SYMBOL	DESCRIPTION
—	EXISTING GRADE
- - -	PROPOSED GRADE
—●—	PROPOSED GRADE WITH 4% SLOPE
—▲—	PROPOSED GRADE WITH 6% SLOPE
—◆—	PROPOSED GRADE WITH 8% SLOPE
—⬠—	PROPOSED GRADE WITH 10% SLOPE
—■—	PROPOSED GRADE WITH 12% SLOPE
—▲▲—	PROPOSED GRADE WITH 14% SLOPE
—◆◆—	PROPOSED GRADE WITH 16% SLOPE
—⬠⬠—	PROPOSED GRADE WITH 18% SLOPE
—■■—	PROPOSED GRADE WITH 20% SLOPE
—▲▲▲—	PROPOSED GRADE WITH 22% SLOPE
—◆◆◆—	PROPOSED GRADE WITH 24% SLOPE
—⬠⬠⬠—	PROPOSED GRADE WITH 26% SLOPE
—■■■—	PROPOSED GRADE WITH 28% SLOPE
—▲▲▲▲—	PROPOSED GRADE WITH 30% SLOPE
—◆◆◆◆—	PROPOSED GRADE WITH 32% SLOPE
—⬠⬠⬠⬠—	PROPOSED GRADE WITH 34% SLOPE
—■■■■—	PROPOSED GRADE WITH 36% SLOPE
—▲▲▲▲▲—	PROPOSED GRADE WITH 38% SLOPE
—◆◆◆◆◆—	PROPOSED GRADE WITH 40% SLOPE
—⬠⬠⬠⬠⬠—	PROPOSED GRADE WITH 42% SLOPE
—■■■■■—	PROPOSED GRADE WITH 44% SLOPE
—▲▲▲▲▲▲—	PROPOSED GRADE WITH 46% SLOPE
—◆◆◆◆◆◆—	PROPOSED GRADE WITH 48% SLOPE
—⬠⬠⬠⬠⬠⬠—	PROPOSED GRADE WITH 50% SLOPE

RAIN NOTE:  
RAIN NOTION TO BE CALCULATED TO THE 500 YEAR RETURN PERIOD 4" IF BELOW GRADE AND REPLACED WITH THE CHARGE AND SCALS WITH A 50% REMEDIABLE RATE.

PRELIMINARY & FINAL  
MAJOR SITE PLAN  
GRADING & DRAINAGE  
PLAN  
DATE: 04/02



NO.	DATE	DESCRIPTION	BY	CHKD.
1	11-15-07	ISSUE FOR PERMIT	JAE	JAE
2	11-15-07	REVISION	JAE	JAE
3	11-15-07	REVISION	JAE	JAE
4	11-15-07	REVISION	JAE	JAE
5	11-15-07	REVISION	JAE	JAE
6	11-15-07	REVISION	JAE	JAE
7	11-15-07	REVISION	JAE	JAE
8	11-15-07	REVISION	JAE	JAE
9	11-15-07	REVISION	JAE	JAE
10	11-15-07	REVISION	JAE	JAE
11	11-15-07	REVISION	JAE	JAE
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13	11-15-07	REVISION	JAE	JAE
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15	11-15-07	REVISION	JAE	JAE
16	11-15-07	REVISION	JAE	JAE
17	11-15-07	REVISION	JAE	JAE
18	11-15-07	REVISION	JAE	JAE
19	11-15-07	REVISION	JAE	JAE
20	11-15-07	REVISION	JAE	JAE

SCALE: 1/8" = 1'-0"

REFER TO NOTE SHEET C101 FOR ADDITIONAL PLAN INFORMATION

SYMBOL	DESCRIPTION
	BUILDING FOOTPRINT
	PROPERTY BOUNDARY
	EASEMENT
	UTILITY LINE
	ROAD CENTERLINE
	DRAINAGE DITCH
	CONTOUR LINE
	SPOT ELEVATION
	PROPOSED AREA
	EXISTING AREA
	EXISTING STRUCTURE
	EXISTING ROAD
	EXISTING UTILITY
	EXISTING EASEMENT
	PROPOSED STRUCTURE
	PROPOSED ROAD
	PROPOSED UTILITY
	PROPOSED EASEMENT
	PROPOSED DRAINAGE
	PROPOSED CONTOUR
	PROPOSED SPOT ELEVATION

### PROJECT INFORMATION

**STONE RISE**

NO. 103-103-001-001-001  
 STONE RISE  
 BLDG. NO. 103-103-001-001-001  
 BLDG. NO. 103-103-001-001-001  
 BLDG. NO. 103-103-001-001-001

#### APPLICANT'S PROFESSIONALS

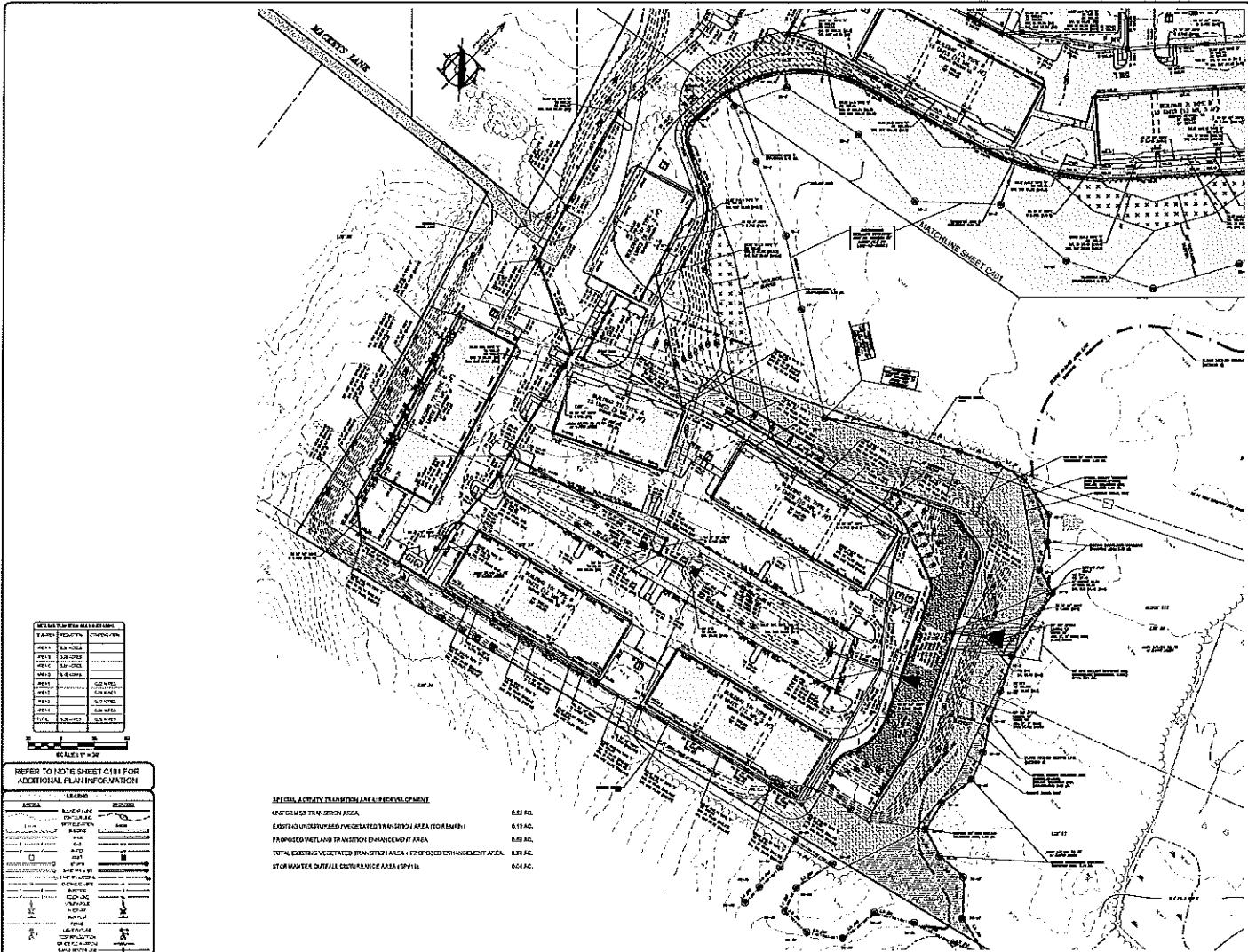
**IN SITE**  
 ARCHITECTS  
 103-103-001-001-001  
 103-103-001-001-001  
 103-103-001-001-001

*Big Walker*  
 CIVIL ENGINEER  
 103-103-001-001-001  
 103-103-001-001-001

#### REVISIONS

NO.	DATE	DESCRIPTION
1	11-15-07	ISSUE FOR PERMIT
2	11-15-07	REVISION
3	11-15-07	REVISION
4	11-15-07	REVISION
5	11-15-07	REVISION
6	11-15-07	REVISION
7	11-15-07	REVISION
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18	11-15-07	REVISION
19	11-15-07	REVISION
20	11-15-07	REVISION

PRELIMINARY & FINAL MAJOR SITE PLAN  
 GRADING & DRAINAGE PLAN  
 C101



**STONE RISE**

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**PROJECT PROGRAM**

**GENERAL NOTES**

1. SEE ATTACHED GENERAL NOTES FOR ALL CONSTRUCTION DETAILS.
2. REFER TO SHEET C-011 FOR ALL CONSTRUCTION DETAILS.
3. REFER TO SHEET C-012 FOR ALL CONSTRUCTION DETAILS.
4. REFER TO SHEET C-013 FOR ALL CONSTRUCTION DETAILS.

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**APPLICABLE PROFESSIONALS**

**ARCHITECT**

**ENGINEER**

**LANDSCAPE ARCHITECT**

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**KINSITE**

*Craig Walker*

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**REVISIONS**

NO.	DATE	DESCRIPTION

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**PRELIMINARY & FINAL MAJOR SITE PLAN**

**GRADING & DRAINAGE PLAN**

C-012

**REFER TO NOTE SHEET C(1) FOR ADDITIONAL PLAN INFORMATION**

SYMBOL	DESCRIPTION
[Symbol]	EXISTING BUILDING FOOTPRINT
[Symbol]	PROPOSED BUILDING FOOTPRINT
[Symbol]	EXISTING DRIVE
[Symbol]	PROPOSED DRIVE
[Symbol]	EXISTING SIDEWALK
[Symbol]	PROPOSED SIDEWALK
[Symbol]	EXISTING CONCRETE DRIVE
[Symbol]	PROPOSED ASPHALT DRIVE
[Symbol]	EXISTING ASPHALT DRIVE
[Symbol]	PROPOSED CONCRETE DRIVE
[Symbol]	EXISTING GRAVEL DRIVE
[Symbol]	PROPOSED GRAVEL DRIVE
[Symbol]	EXISTING DRIVE WITH UTILITY TRENCH
[Symbol]	PROPOSED DRIVE WITH UTILITY TRENCH
[Symbol]	EXISTING DRIVE WITH SIDEWALK
[Symbol]	PROPOSED DRIVE WITH SIDEWALK
[Symbol]	EXISTING DRIVE WITH SIDEWALK AND CURB
[Symbol]	PROPOSED DRIVE WITH SIDEWALK AND CURB
[Symbol]	EXISTING DRIVE WITH SIDEWALK AND CURB AND LANDSCAPING
[Symbol]	PROPOSED DRIVE WITH SIDEWALK AND CURB AND LANDSCAPING
[Symbol]	EXISTING DRIVE WITH SIDEWALK AND CURB AND LANDSCAPING AND LIGHTING
[Symbol]	PROPOSED DRIVE WITH SIDEWALK AND CURB AND LANDSCAPING AND LIGHTING
[Symbol]	EXISTING DRIVE WITH SIDEWALK AND CURB AND LANDSCAPING AND LIGHTING AND SIGNAGE
[Symbol]	PROPOSED DRIVE WITH SIDEWALK AND CURB AND LANDSCAPING AND LIGHTING AND SIGNAGE

**SPECIAL & UTILITY TRANSITION AREAS DEVELOPMENT**

**UTILITY TRANSITION AREA** 0.56 AC.

**EXISTING UNDEVELOPED / VEGETATED TRANSITION AREA (DO NOT BUILD)** 0.17 AC.

**PROPOSED VEGETATED TRANSITION (LANDSCAPING) AREA** 0.68 AC.

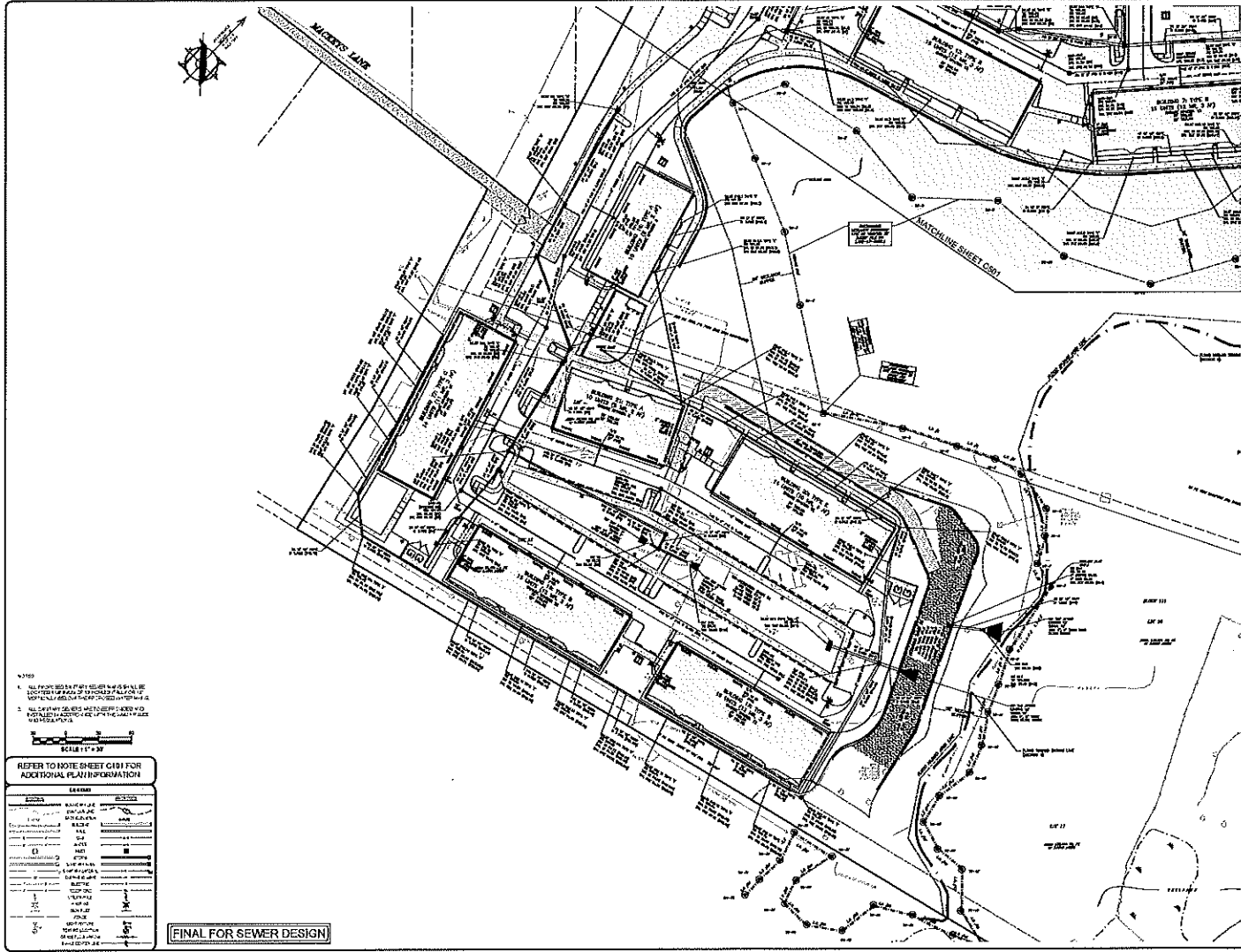
**TOTAL VEGETATED TRANSITION AREA (LANDSCAPING) AREA** 0.85 AC.

**STONE WALKER OFFICE DISTANCE AREA (OFFICE)** 0.04 AC.









4. ALL WORKSHOWN PROPERTY MUST BE LOCATED WITHIN 25 FEET OF THE RIGHT-OF-WAY LINE OR 25 FEET FROM THE CENTERLINE OF THE ROADWAY, UNLESS OTHERWISE SHOWN.

5. ALL SHOWN DRIVEWAYS MUST BE CONSTRUCTED TO MEET THE FOLLOWING SPECIFICATIONS:

SCALE: 1" = 30'

REFER TO NOTE SHEET C101 FOR ADDITIONAL PLAN INFORMATION

LEGEND		
SYMBOL	DESCRIPTION	NOTATION
	EXISTING BUILDING FOOTPRINT	---/---
	PROPOSED BUILDING FOOTPRINT	- - - - -
	EXISTING PARKING LOT	///
	PROPOSED PARKING LOT	- - -
	EXISTING ROAD	---
	PROPOSED ROAD	---
	EXISTING UTILITY LINE	---
	PROPOSED UTILITY LINE	---
	EXISTING STRUCTURE	---
	PROPOSED STRUCTURE	---
	EXISTING LANDSCAPE	---
	PROPOSED LANDSCAPE	---
	EXISTING FENCE	---
	PROPOSED FENCE	---
	EXISTING WALL	---
	PROPOSED WALL	---

**FINAL FOR SEWER DESIGN**

**STONE RISE**

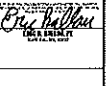
200 COLUMBIAN AVENUE  
MOUNTAIN VIEW, CA 94039  
TEL: 925.398.1800  
WWW.STONE-RISE.COM

APPLICANT'S PROFESSIONALS  
ARCHITECT: GILBERT R. GRAYSON  
LANDSCAPE ARCHITECT: DAVID S. GUNDEL  
PLANNING: LUCY B. LARSON  
ENGINEER: JAMES R. CANNON  
PROJECT NO. SR-2017-001



**INSITE**

11500 HOLLYWOOD BLVD., SUITE 100  
HOUSTON, TEXAS 77036  
TEL: 281.348.1234  
WWW.INSITE.COM

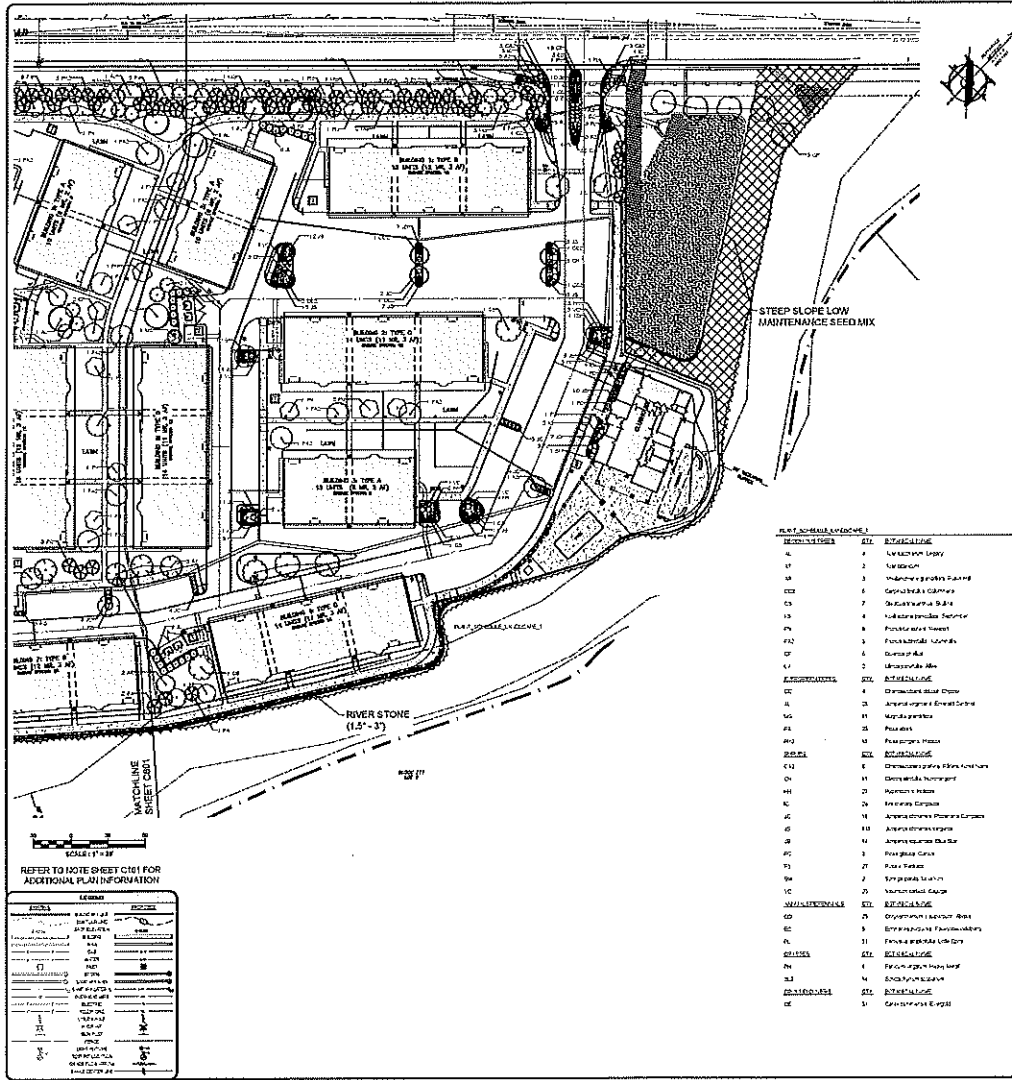


**REVISIONS**

NO.	DESCRIPTION	DATE
1	ISSUE FOR PERMITS	08/15/2017
2	REVISIONS TO PERMITS	08/22/2017
3	REVISIONS TO PERMITS	09/05/2017
4	REVISIONS TO PERMITS	09/12/2017
5	REVISIONS TO PERMITS	09/19/2017

PRELIMINARY & FINAL  
MAJOR SITE PLAN

UTILITY PLAN



**1. NOTES**

1. SEE PLAN FOR TREE PLACEMENT AND SPECIFICATIONS.
2. ALL TREES SHALL BE PLANTED AT THE END OF THE LIFE OF THE PROJECT.
3. ALL TREES SHALL BE PLANTED AT THE END OF THE LIFE OF THE PROJECT.
4. ALL TREES SHALL BE PLANTED AT THE END OF THE LIFE OF THE PROJECT.

**2. MATERIALS**

1. ALL TREES SHALL BE PLANTED AT THE END OF THE LIFE OF THE PROJECT.
2. ALL TREES SHALL BE PLANTED AT THE END OF THE LIFE OF THE PROJECT.
3. ALL TREES SHALL BE PLANTED AT THE END OF THE LIFE OF THE PROJECT.

**3. PLANTING**

1. ALL TREES SHALL BE PLANTED AT THE END OF THE LIFE OF THE PROJECT.
2. ALL TREES SHALL BE PLANTED AT THE END OF THE LIFE OF THE PROJECT.
3. ALL TREES SHALL BE PLANTED AT THE END OF THE LIFE OF THE PROJECT.

PLANT	QUANTITY	DESCRIPTION	SIZE	CULT.	DATE
...	...	...	...	...	...
...	...	...	...	...	...
...	...	...	...	...	...

**PROJECT INFORMATION**

**STONE RISE**

**PREPARED BY:** [Firm Name]

**DATE:** [Date]

**SCALE:** [Scale]

**REVISIONS**

NO.	DESCRIPTION	DATE
1	ISSUE FOR PERMIT	11/15/21
2	ISSUE FOR PERMIT	11/15/21
3	ISSUE FOR PERMIT	11/15/21
4	ISSUE FOR PERMIT	11/15/21

**PREPARED BY:** [Firm Name]

**DATE:** [Date]

**SCALE:** [Scale]

**REVISIONS**

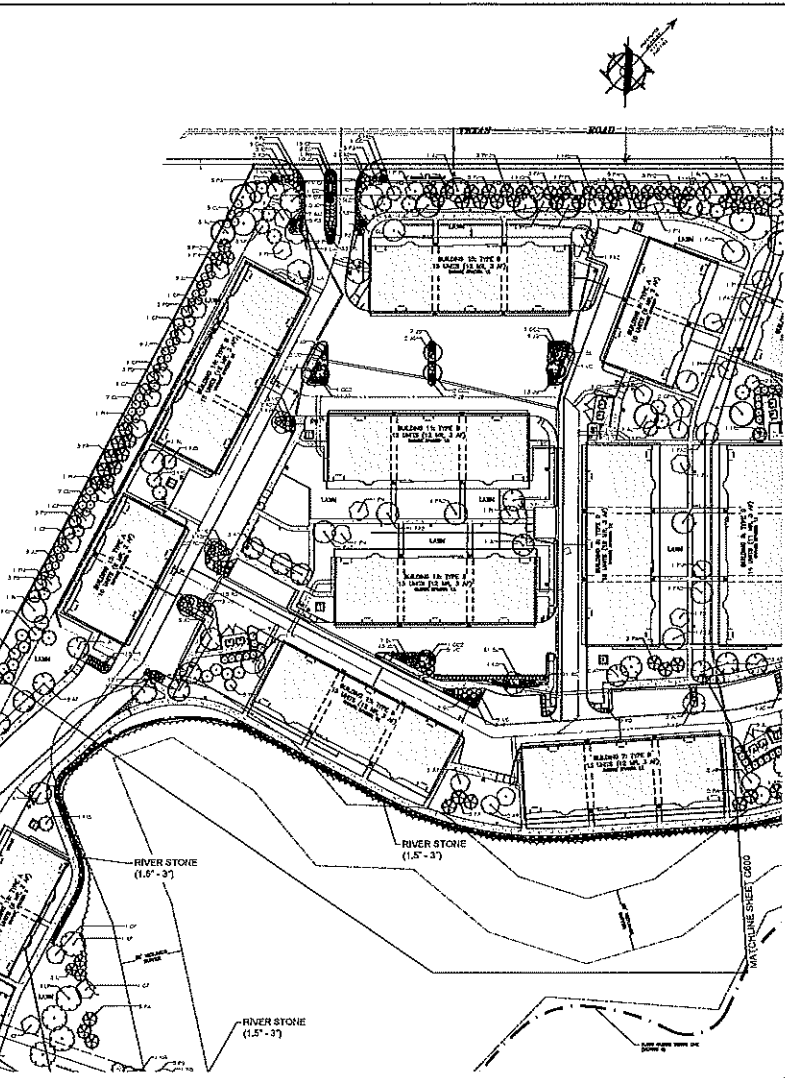
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2	ISSUE FOR PERMIT	11/15/21
3	ISSUE FOR PERMIT	11/15/21
4	ISSUE FOR PERMIT	11/15/21

**PRELIMINARY & FINAL MAJOR SITE PLAN**

**LANDSCAPE PLAN**

**CADD**

NO.	DESCRIPTION	QUANTITY	UNIT	PRICE	TOTAL
1	... ..	...	...	...	...
...	...	...	...	...	...
...	...	...	...	...	...
...	...	...	...	...	...
...	...	...	...	...	...



PROJECT QUALIFICATION

## STONE RISE

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APPLICANTS PROFESSIONALS

*PROFESSIONAL SIGNATURE*

*PROFESSIONAL SEAL*

**INSITE**

**Eric Walker**

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REVISIONS

NO.	DATE	DESCRIPTION
1	...	...
2	...	...

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PRELIMINARY & FINAL MAJOR SITE PLAN

LANDSCAPE PLAN

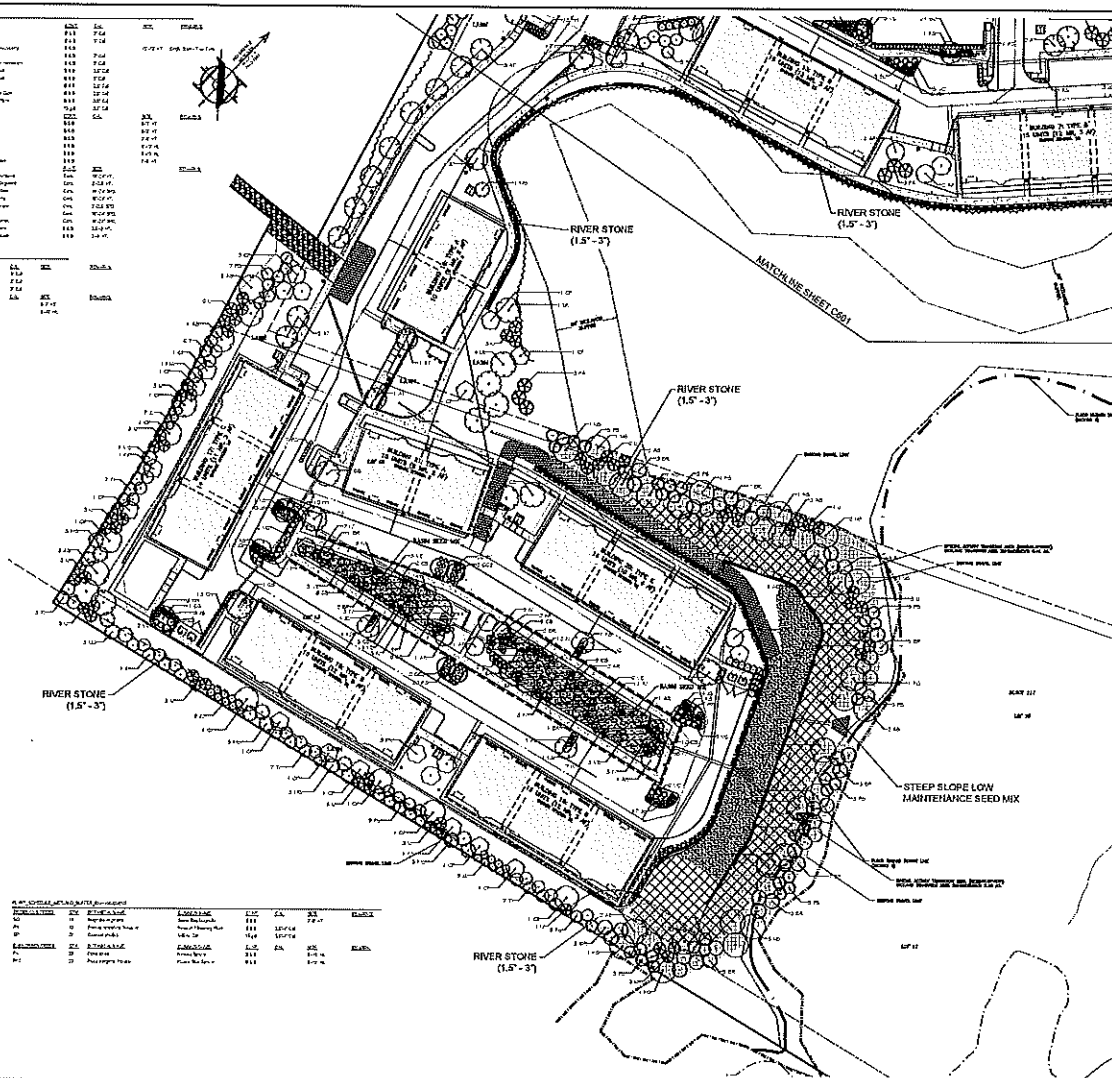
C001



NO.	SYMBOL	DESCRIPTION	QUANTITY	UNIT	PRICE	TOTAL
1	10	10' x 10' Concrete Pad	1	Sq. Ft.	200	200
2	11	10' x 10' Concrete Pad	1	Sq. Ft.	200	200
3	12	10' x 10' Concrete Pad	1	Sq. Ft.	200	200
4	13	10' x 10' Concrete Pad	1	Sq. Ft.	200	200
5	14	10' x 10' Concrete Pad	1	Sq. Ft.	200	200
6	15	10' x 10' Concrete Pad	1	Sq. Ft.	200	200
7	16	10' x 10' Concrete Pad	1	Sq. Ft.	200	200
8	17	10' x 10' Concrete Pad	1	Sq. Ft.	200	200
9	18	10' x 10' Concrete Pad	1	Sq. Ft.	200	200
10	19	10' x 10' Concrete Pad	1	Sq. Ft.	200	200
11	20	10' x 10' Concrete Pad	1	Sq. Ft.	200	200
12	21	10' x 10' Concrete Pad	1	Sq. Ft.	200	200
13	22	10' x 10' Concrete Pad	1	Sq. Ft.	200	200
14	23	10' x 10' Concrete Pad	1	Sq. Ft.	200	200
15	24	10' x 10' Concrete Pad	1	Sq. Ft.	200	200
16	25	10' x 10' Concrete Pad	1	Sq. Ft.	200	200
17	26	10' x 10' Concrete Pad	1	Sq. Ft.	200	200
18	27	10' x 10' Concrete Pad	1	Sq. Ft.	200	200
19	28	10' x 10' Concrete Pad	1	Sq. Ft.	200	200
20	29	10' x 10' Concrete Pad	1	Sq. Ft.	200	200
21	30	10' x 10' Concrete Pad	1	Sq. Ft.	200	200
22	31	10' x 10' Concrete Pad	1	Sq. Ft.	200	200
23	32	10' x 10' Concrete Pad	1	Sq. Ft.	200	200
24	33	10' x 10' Concrete Pad	1	Sq. Ft.	200	200
25	34	10' x 10' Concrete Pad	1	Sq. Ft.	200	200
26	35	10' x 10' Concrete Pad	1	Sq. Ft.	200	200
27	36	10' x 10' Concrete Pad	1	Sq. Ft.	200	200
28	37	10' x 10' Concrete Pad	1	Sq. Ft.	200	200
29	38	10' x 10' Concrete Pad	1	Sq. Ft.	200	200
30	39	10' x 10' Concrete Pad	1	Sq. Ft.	200	200
31	40	10' x 10' Concrete Pad	1	Sq. Ft.	200	200
32	41	10' x 10' Concrete Pad	1	Sq. Ft.	200	200
33	42	10' x 10' Concrete Pad	1	Sq. Ft.	200	200
34	43	10' x 10' Concrete Pad	1	Sq. Ft.	200	200
35	44	10' x 10' Concrete Pad	1	Sq. Ft.	200	200
36	45	10' x 10' Concrete Pad	1	Sq. Ft.	200	200
37	46	10' x 10' Concrete Pad	1	Sq. Ft.	200	200
38	47	10' x 10' Concrete Pad	1	Sq. Ft.	200	200
39	48	10' x 10' Concrete Pad	1	Sq. Ft.	200	200
40	49	10' x 10' Concrete Pad	1	Sq. Ft.	200	200

**NOTES**

1. ALL CONSTRUCTION SHALL BE ACCORDING TO THE LATEST EDITIONS OF THE IBC AND IRC.
2. ALL MATERIALS SHALL BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
4. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
5. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES.
6. THE CONTRACTOR SHALL MAINTAIN PROPER RECORDS OF ALL WORK DONE.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY BONDING.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY SURETY.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY REFERENCES.



NO.	SYMBOL	DESCRIPTION	QUANTITY	UNIT	PRICE	TOTAL
1	10	10' x 10' Concrete Pad	1	Sq. Ft.	200	200
2	11	10' x 10' Concrete Pad	1	Sq. Ft.	200	200
3	12	10' x 10' Concrete Pad	1	Sq. Ft.	200	200
4	13	10' x 10' Concrete Pad	1	Sq. Ft.	200	200
5	14	10' x 10' Concrete Pad	1	Sq. Ft.	200	200
6	15	10' x 10' Concrete Pad	1	Sq. Ft.	200	200
7	16	10' x 10' Concrete Pad	1	Sq. Ft.	200	200
8	17	10' x 10' Concrete Pad	1	Sq. Ft.	200	200
9	18	10' x 10' Concrete Pad	1	Sq. Ft.	200	200
10	19	10' x 10' Concrete Pad	1	Sq. Ft.	200	200
11	20	10' x 10' Concrete Pad	1	Sq. Ft.	200	200
12	21	10' x 10' Concrete Pad	1	Sq. Ft.	200	200
13	22	10' x 10' Concrete Pad	1	Sq. Ft.	200	200
14	23	10' x 10' Concrete Pad	1	Sq. Ft.	200	200
15	24	10' x 10' Concrete Pad	1	Sq. Ft.	200	200
16	25	10' x 10' Concrete Pad	1	Sq. Ft.	200	200
17	26	10' x 10' Concrete Pad	1	Sq. Ft.	200	200
18	27	10' x 10' Concrete Pad	1	Sq. Ft.	200	200
19	28	10' x 10' Concrete Pad	1	Sq. Ft.	200	200
20	29	10' x 10' Concrete Pad	1	Sq. Ft.	200	200
21	30	10' x 10' Concrete Pad	1	Sq. Ft.	200	200
22	31	10' x 10' Concrete Pad	1	Sq. Ft.	200	200
23	32	10' x 10' Concrete Pad	1	Sq. Ft.	200	200
24	33	10' x 10' Concrete Pad	1	Sq. Ft.	200	200
25	34	10' x 10' Concrete Pad	1	Sq. Ft.	200	200
26	35	10' x 10' Concrete Pad	1	Sq. Ft.	200	200
27	36	10' x 10' Concrete Pad	1	Sq. Ft.	200	200
28	37	10' x 10' Concrete Pad	1	Sq. Ft.	200	200
29	38	10' x 10' Concrete Pad	1	Sq. Ft.	200	200
30	39	10' x 10' Concrete Pad	1	Sq. Ft.	200	200
31	40	10' x 10' Concrete Pad	1	Sq. Ft.	200	200
32	41	10' x 10' Concrete Pad	1	Sq. Ft.	200	200
33	42	10' x 10' Concrete Pad	1	Sq. Ft.	200	200
34	43	10' x 10' Concrete Pad	1	Sq. Ft.	200	200
35	44	10' x 10' Concrete Pad	1	Sq. Ft.	200	200
36	45	10' x 10' Concrete Pad	1	Sq. Ft.	200	200
37	46	10' x 10' Concrete Pad	1	Sq. Ft.	200	200
38	47	10' x 10' Concrete Pad	1	Sq. Ft.	200	200
39	48	10' x 10' Concrete Pad	1	Sq. Ft.	200	200
40	49	10' x 10' Concrete Pad	1	Sq. Ft.	200	200
41	50	10' x 10' Concrete Pad	1	Sq. Ft.	200	200
42	51	10' x 10' Concrete Pad	1	Sq. Ft.	200	200
43	52	10' x 10' Concrete Pad	1	Sq. Ft.	200	200
44	53	10' x 10' Concrete Pad	1	Sq. Ft.	200	200
45	54	10' x 10' Concrete Pad	1	Sq. Ft.	200	200
46	55	10' x 10' Concrete Pad	1	Sq. Ft.	200	200
47	56	10' x 10' Concrete Pad	1	Sq. Ft.	200	200
48	57	10' x 10' Concrete Pad	1	Sq. Ft.	200	200
49	58	10' x 10' Concrete Pad	1	Sq. Ft.	200	200
50	59	10' x 10' Concrete Pad	1	Sq. Ft.	200	200

**PROJECT INFORMATION**

**STONE RISE**

**15015 BAYVIEW BLVD. SUITE 200**  
**CLARK COUNTY, FL 33025**

**OWNER:** STONE RISE LLC  
**ARCHITECT:** JAMES HARRISON ARCHITECTS, INC.

**DESIGNED BY:** JAMES HARRISON ARCHITECTS, INC.  
**DATE:** 12/15/2010

**CONTRACT NO.:** SR-10-001

**SCALE:** AS SHOWN

**DATE PLOTTED:** 12/15/2010 10:00 AM

**PROJECT LOCATION:** 15015 BAYVIEW BLVD. SUITE 200, CLARK COUNTY, FL 33025

**PROJECT DESCRIPTION:** PRELIMINARY & FINAL MAJOR SITE PLAN

**DESIGNER:** JAMES HARRISON ARCHITECTS, INC.  
**ADDRESS:** 15015 BAYVIEW BLVD. SUITE 200, CLARK COUNTY, FL 33025  
**PHONE:** 904.477.8800  
**FAX:** 904.477.8801  
**WWW:** www.jharchitects.com

**LEGEND**

**EXISTING**

- 1. EXISTING CONCRETE PAVEMENT
- 2. EXISTING ASPHALT PAVEMENT
- 3. EXISTING GRAVEL PAVEMENT
- 4. EXISTING SOFT GRASS
- 5. EXISTING HARD GRASS
- 6. EXISTING TREE
- 7. EXISTING SHRUB
- 8. EXISTING FENCE
- 9. EXISTING DRIVEWAY
- 10. EXISTING SIDEWALK
- 11. EXISTING CURB
- 12. EXISTING SIGN
- 13. EXISTING LIGHT
- 14. EXISTING UTILITY
- 15. EXISTING STRUCTURE

**PROPOSED**

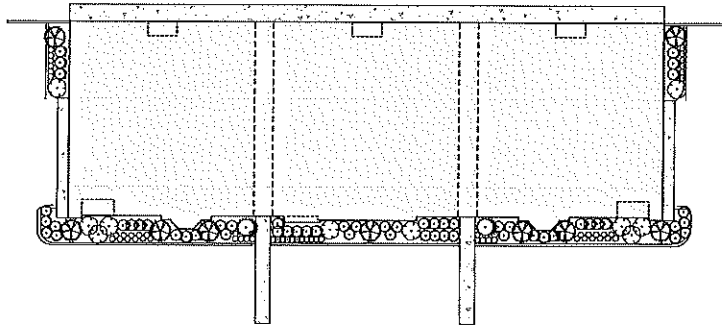
- 1. PROPOSED CONCRETE PAVEMENT
- 2. PROPOSED ASPHALT PAVEMENT
- 3. PROPOSED GRAVEL PAVEMENT
- 4. PROPOSED SOFT GRASS
- 5. PROPOSED HARD GRASS
- 6. PROPOSED TREE
- 7. PROPOSED SHRUB
- 8. PROPOSED FENCE
- 9. PROPOSED DRIVEWAY
- 10. PROPOSED SIDEWALK
- 11. PROPOSED CURB
- 12. PROPOSED SIGN
- 13. PROPOSED LIGHT
- 14. PROPOSED UTILITY
- 15. PROPOSED STRUCTURE

**NOTES:**

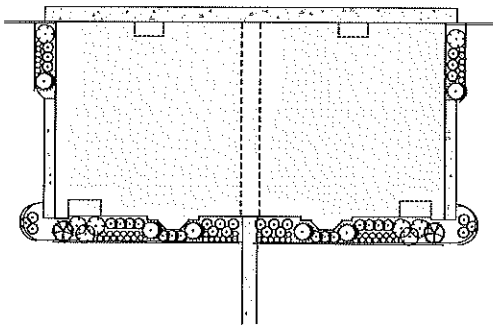
1. ALL CONSTRUCTION SHALL BE ACCORDING TO THE LATEST EDITIONS OF THE IBC AND IRC.
2. ALL MATERIALS SHALL BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
4. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
5. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES.
6. THE CONTRACTOR SHALL MAINTAIN PROPER RECORDS OF ALL WORK DONE.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY BONDING.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY SURETY.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY REFERENCES.

**NOTES**

1. REFER TO SHEET CH1 FOR ADDITIONAL PLAN INFORMATION.
2. SEE NOTES ON SHEET CH1 FOR ADDITIONAL PLAN INFORMATION.
3. SEE NOTES ON SHEET CH1 FOR ADDITIONAL PLAN INFORMATION.
4. SEE NOTES ON SHEET CH1 FOR ADDITIONAL PLAN INFORMATION.
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17. SEE NOTES ON SHEET CH1 FOR ADDITIONAL PLAN INFORMATION.
18. SEE NOTES ON SHEET CH1 FOR ADDITIONAL PLAN INFORMATION.
19. SEE NOTES ON SHEET CH1 FOR ADDITIONAL PLAN INFORMATION.
20. SEE NOTES ON SHEET CH1 FOR ADDITIONAL PLAN INFORMATION.



TYPICAL UNIT PLANTING - TYPE AB  
SCALE 1/4" = 1'-0"



TYPICAL UNIT PLANTING - TYPE C  
SCALE 1/4" = 1'-0"

- | SYMBOL | PLANT SPECIES | QUANTITY |
|--------|---------------|----------|
| ⊗      | PLANT SPECIES | 1        |
| ⊙      | PLANT SPECIES | 1        |
| ⊘      | PLANT SPECIES | 1        |
| ⊚      | PLANT SPECIES | 1        |
| ⊛      | PLANT SPECIES | 1        |
| ⊜      | PLANT SPECIES | 1        |
| ⊝      | PLANT SPECIES | 1        |
| ⊞      | PLANT SPECIES | 1        |
| ⊟      | PLANT SPECIES | 1        |
| ⊠      | PLANT SPECIES | 1        |



REFER TO NOTE SHEET CH1 FOR ADDITIONAL PLAN INFORMATION

SYMBOL	DESCRIPTION
⊗	PLANT SPECIES
⊙	PLANT SPECIES
⊘	PLANT SPECIES
⊚	PLANT SPECIES
⊛	PLANT SPECIES
⊜	PLANT SPECIES
⊝	PLANT SPECIES
⊞	PLANT SPECIES
⊟	PLANT SPECIES
⊠	PLANT SPECIES

**PROJECT INFORMATION**

**STONE RISE**

**CLIENTS PROFESSIONALS**

**DESIGNER**

**SCALE**

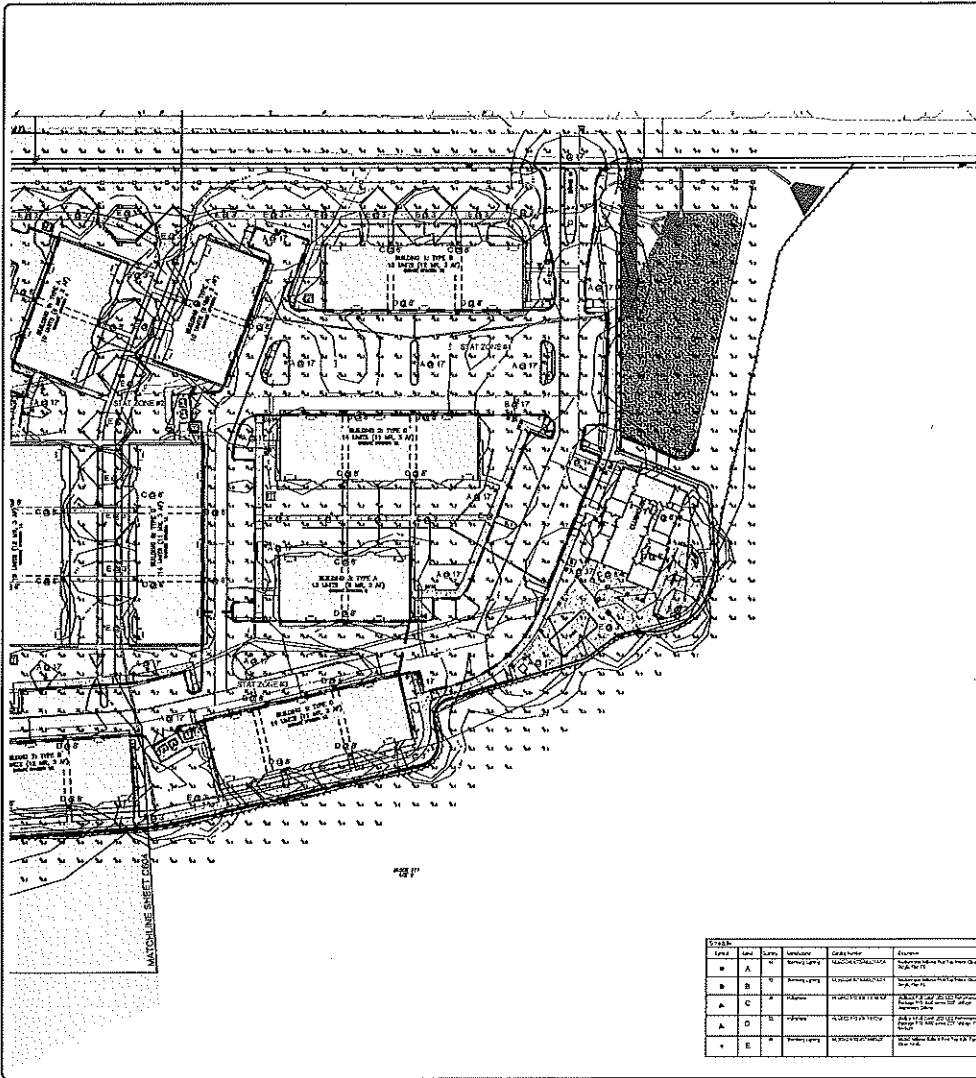
**DATE**

**REVISIONS**

**PRELIMINARY & FINAL MAJOR SITE PLAN**

**LANDSCAPE PLAN**

**C803**



**PROJECT INFORMATION**

**STONE RISE**

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**DESIGNER**  
 GRIFFIN & PARTNERS, P.C.  
 1000 GARDEN CITY SQUARE  
 GARDEN CITY, NY 11530  
 (516) 466-1000

**CLIENT**  
 STONE RISE  
 1000 GARDEN CITY SQUARE  
 GARDEN CITY, NY 11530

**DATE**  
 08/15/08

---

**PROJECT PROFESSIONALS**

**REGISTERED PROFESSIONAL ENGINEER**  
 JOHN W. GRIFFIN, P.E.  
 No. 018005720  
 State of New York  
 1000 GARDEN CITY SQUARE  
 GARDEN CITY, NY 11530

**REGISTERED PROFESSIONAL ARCHITECT**  
 JAMES R. HALLINAN, AIA  
 No. 00174370  
 State of New York  
 1000 GARDEN CITY SQUARE  
 GARDEN CITY, NY 11530

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**REVISIONS**

NO.	DATE	DESCRIPTION

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**SCALE 1" = 30'**

**LEGEND**

1. EXISTING BUILDING FOOTPRINT  
 2. EXISTING DRIVEWAY  
 3. EXISTING SIDEWALK  
 4. EXISTING DRIVEWAY PAVEMENT  
 5. EXISTING SIDEWALK PAVEMENT  
 6. EXISTING DRIVEWAY CURB  
 7. EXISTING SIDEWALK CURB  
 8. EXISTING DRIVEWAY CURB CUT  
 9. EXISTING SIDEWALK CURB CUT  
 10. EXISTING DRIVEWAY CURB CUT CUTBACK  
 11. EXISTING SIDEWALK CURB CUT CUTBACK  
 12. EXISTING DRIVEWAY CURB CUT CUTBACK CUTBACK  
 13. EXISTING SIDEWALK CURB CUT CUTBACK CUTBACK  
 14. EXISTING DRIVEWAY CURB CUT CUTBACK CUTBACK CUTBACK  
 15. EXISTING SIDEWALK CURB CUT CUTBACK CUTBACK CUTBACK  
 16. EXISTING DRIVEWAY CURB CUT CUTBACK CUTBACK CUTBACK CUTBACK  
 17. EXISTING SIDEWALK CURB CUT CUTBACK CUTBACK CUTBACK CUTBACK  
 18. EXISTING DRIVEWAY CURB CUT CUTBACK CUTBACK CUTBACK CUTBACK CUTBACK  
 19. EXISTING SIDEWALK CURB CUT CUTBACK CUTBACK CUTBACK CUTBACK CUTBACK  
 20. EXISTING DRIVEWAY CURB CUT CUTBACK CUTBACK CUTBACK CUTBACK CUTBACK CUTBACK  
 21. EXISTING SIDEWALK CURB CUT CUTBACK CUTBACK CUTBACK CUTBACK CUTBACK CUTBACK  
 22. EXISTING DRIVEWAY CURB CUT CUTBACK CUTBACK CUTBACK CUTBACK CUTBACK CUTBACK CUTBACK  
 23. EXISTING SIDEWALK CURB CUT CUTBACK CUTBACK CUTBACK CUTBACK CUTBACK CUTBACK CUTBACK  
 24. EXISTING DRIVEWAY CURB CUT CUTBACK CUTBACK CUTBACK CUTBACK CUTBACK CUTBACK CUTBACK CUTBACK  
 25. EXISTING SIDEWALK CURB CUT CUTBACK CUTBACK CUTBACK CUTBACK CUTBACK CUTBACK CUTBACK CUTBACK  
 26. EXISTING DRIVEWAY CURB CUT CUTBACK CUTBACK CUTBACK CUTBACK CUTBACK CUTBACK CUTBACK CUTBACK CUTBACK  
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 28. EXISTING DRIVEWAY CURB CUT CUTBACK CUTBACK CUTBACK CUTBACK CUTBACK CUTBACK CUTBACK CUTBACK CUTBACK CUTBACK  
 29. EXISTING SIDEWALK CURB CUT CUTBACK CUTBACK CUTBACK CUTBACK CUTBACK CUTBACK CUTBACK CUTBACK CUTBACK CUTBACK CUTBACK  
 30. EXISTING DRIVEWAY CURB CUT CUTBACK CUTBACK CUTBACK CUTBACK CUTBACK CUTBACK CUTBACK CUTBACK CUTBACK CUTBACK CUTBACK CUTBACK

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**PROJECT INFORMATION**

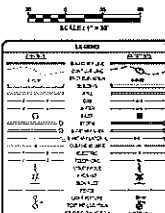
**PRELIMINARY & FINAL BUILDING SITE PLAN**

**LIGHTING PLAN**

**DATE**  
 08/15/08

**SCALE**  
 1" = 30'

NO.	DATE	DESCRIPTION



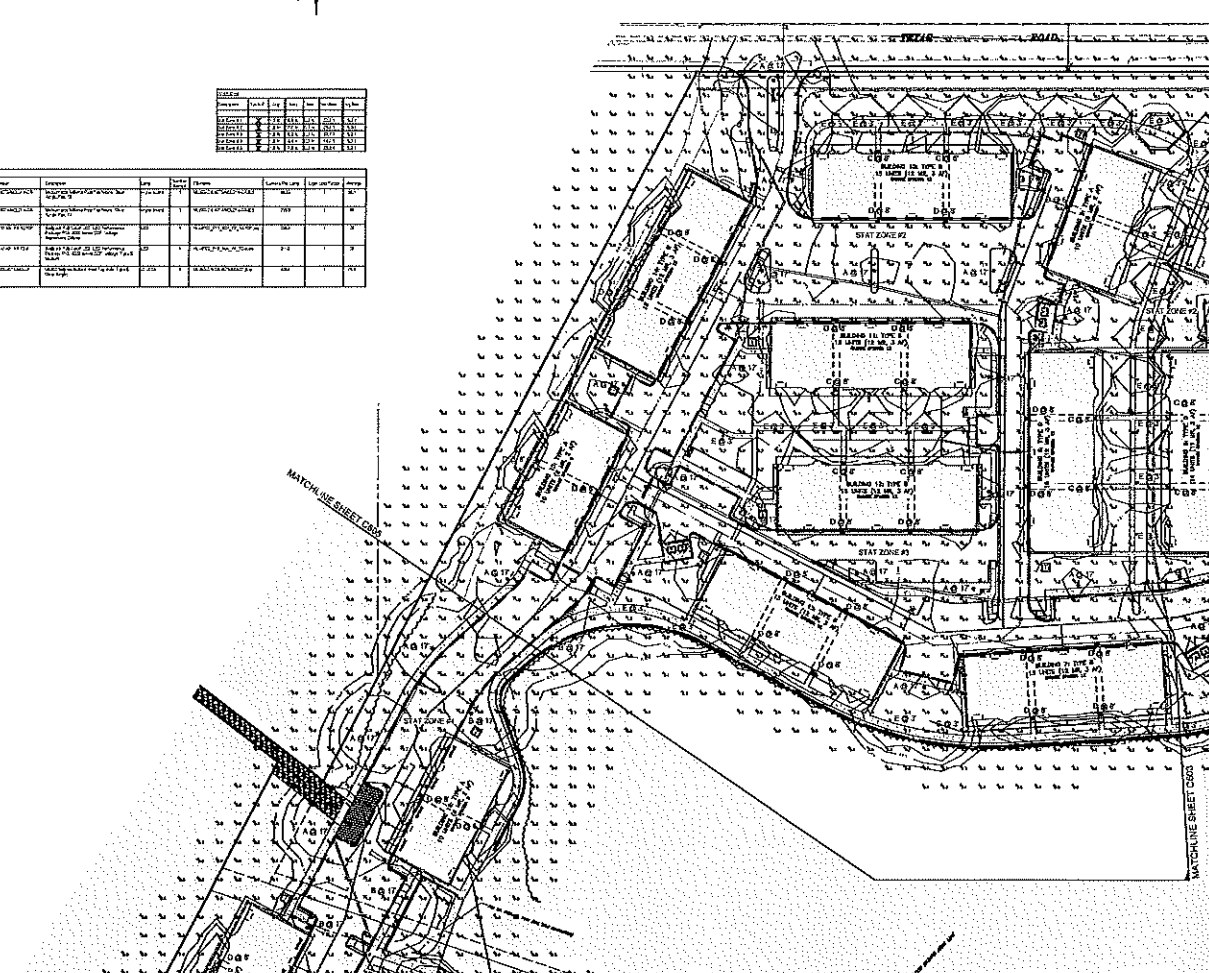


DATE	DESCRIPTION	BY	CHKD BY
05/10/2010	PRELIMINARY	JAC	JAC
05/10/2010	REVISED	JAC	JAC
05/10/2010	REVISED	JAC	JAC
05/10/2010	REVISED	JAC	JAC

LINE	NO.	TYPE	DESCRIPTION	DATE	BY	CHKD BY
1	A	PROPERTY	PROPERTY BOUNDARY	05/10/2010	JAC	JAC
2	B	PROPERTY	PROPERTY BOUNDARY	05/10/2010	JAC	JAC
3	C	PROPERTY	PROPERTY BOUNDARY	05/10/2010	JAC	JAC
4	D	PROPERTY	PROPERTY BOUNDARY	05/10/2010	JAC	JAC
5	E	PROPERTY	PROPERTY BOUNDARY	05/10/2010	JAC	JAC

**Legend**

SYMBOL	DESCRIPTION
(Symbol)	EXISTING
(Symbol)	PROPOSED
(Symbol)	REMOVED
(Symbol)	CONSTRUCTION



**PROJECT INFORMATION**

**STONE RISE**

**CLIENT:**  
 [Redacted]

**DESIGNER:**  
 [Redacted]

**ENGINEER:**  
 [Redacted]

**ARCHITECT:**  
 [Redacted]

**LANDSCAPE ARCHITECT:**  
 [Redacted]

**DATE:**  
 05/10/2010

**SCALE:**  
 AS SHOWN

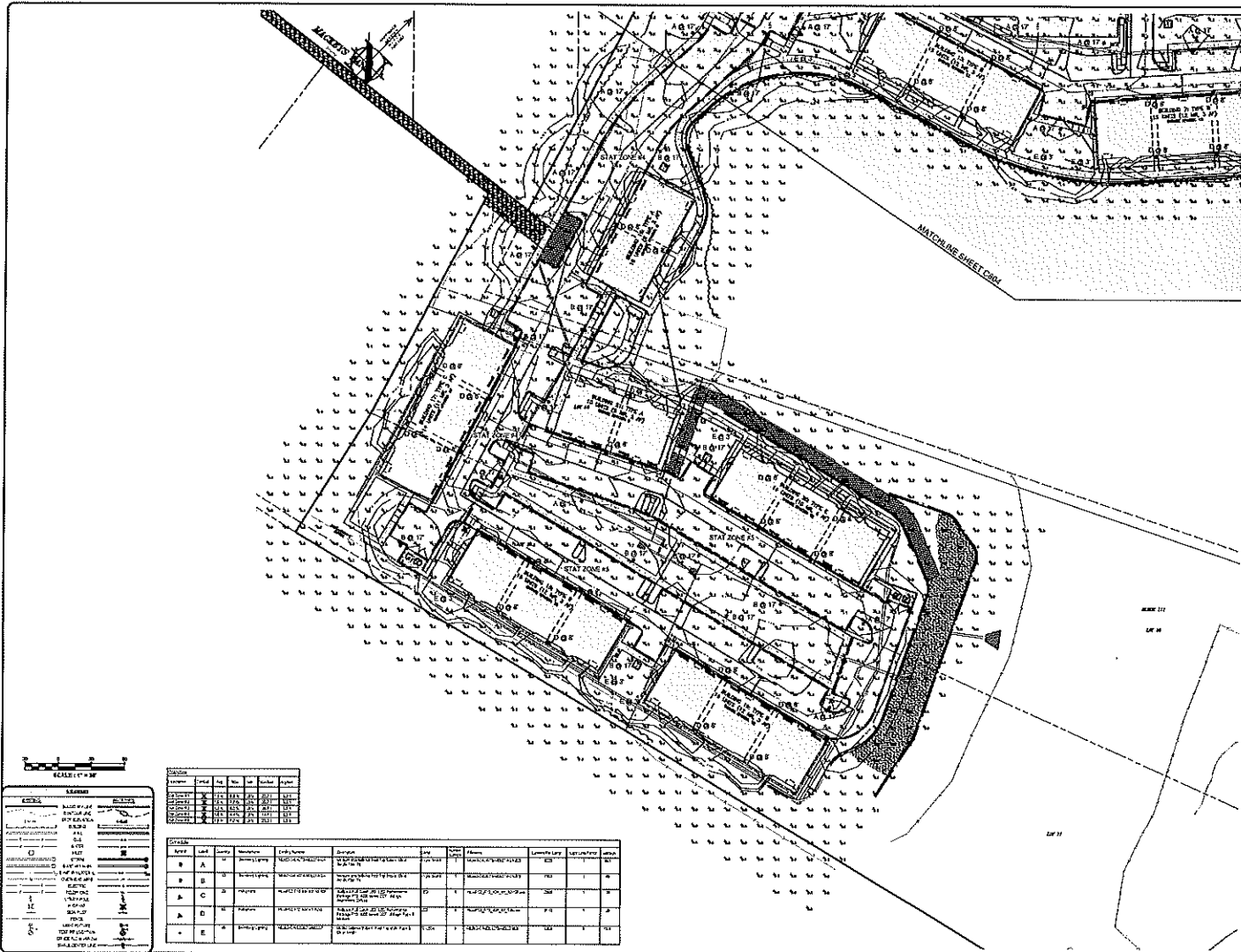
**REVISIONS:**

NO.	DATE	DESCRIPTION
1	05/10/2010	PRELIMINARY
2	05/10/2010	REVISED
3	05/10/2010	REVISED
4	05/10/2010	REVISED

**PRELIMINARY & FINAL MAJOR SITE PLAN**

**LIGHTING PLAN**

**DRAWING NUMBER:** C065



SCALE: 1" = 30'

Symbol	Description
(Symbol)	(Description)
(Symbol)	(Description)
(Symbol)	(Description)
(Symbol)	(Description)
(Symbol)	(Description)
(Symbol)	(Description)
(Symbol)	(Description)
(Symbol)	(Description)
(Symbol)	(Description)
(Symbol)	(Description)
(Symbol)	(Description)
(Symbol)	(Description)
(Symbol)	(Description)
(Symbol)	(Description)
(Symbol)	(Description)

Item	Plant	Spec	Quantity	Notes
1	(Symbol)	(Spec)	100	(Notes)
2	(Symbol)	(Spec)	50	(Notes)
3	(Symbol)	(Spec)	200	(Notes)
4	(Symbol)	(Spec)	150	(Notes)
5	(Symbol)	(Spec)	100	(Notes)

Name	Date	Work	By	Check	Appr.
(Name)	(Date)	(Work)	(By)	(Check)	(Appr.)
(Name)	(Date)	(Work)	(By)	(Check)	(Appr.)
(Name)	(Date)	(Work)	(By)	(Check)	(Appr.)
(Name)	(Date)	(Work)	(By)	(Check)	(Appr.)

**PROJECT INFORMATION**  
**STONE RISE**

PRELIMINARY & FINAL MAJOR SITE PLAN  
 LIGHTING PLAN  
 C200

PROJECT LOCATION: [Site Address]  
 PROJECT NO.: [Project Number]  
 DATE: [Date]

**DESIGNER:**  
 [Company Name]  
 [Address]  
 [Phone]

**PREPARED BY:**  
 [Name]  
 [Title]

**REVISIONS:**

No.	Description
1	(Revision)
2	(Revision)

**APPROVALS:**  
 [Professional Seal]  
 [Signature]